

Development Application: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
18 Treuer Parade, Yagoona, NSW 2199



| Sheet List   |                             |                  |
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| Sheet List   |                                 |                  |
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|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

DRAWING TITLE: Cover Page  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: A101  
COUNCIL AREA : SCALE:

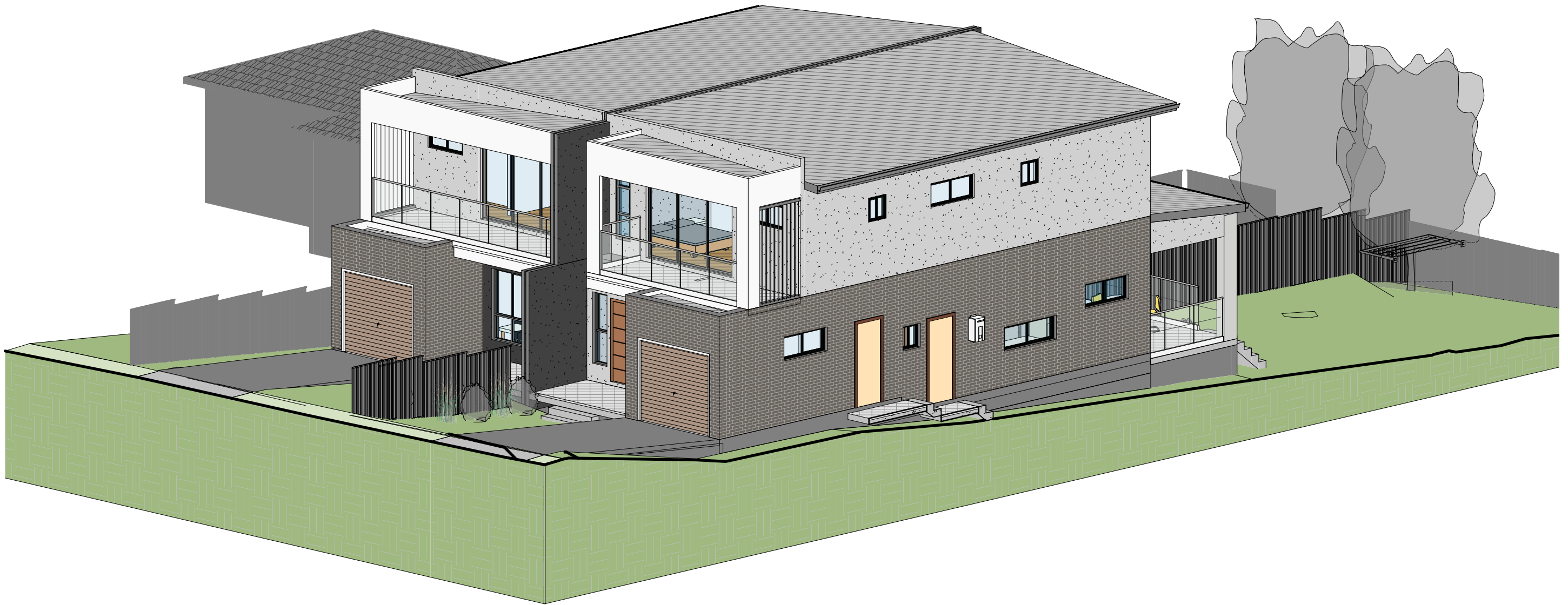
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PROJECT NO: 0001

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1

# Overview Perspective 1

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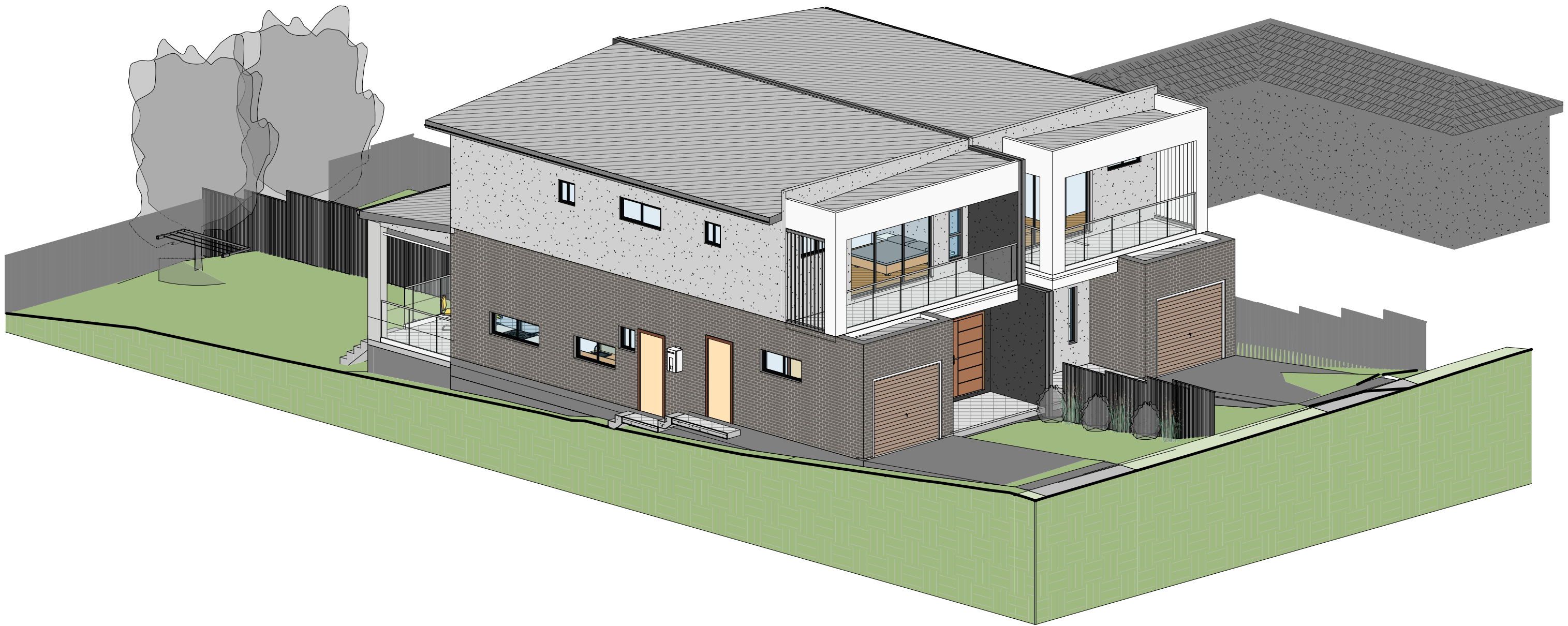
**DRAWING TITLE:** Overview Perspective  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899

**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A102  
**COUNCIL AREA :** **SCALE:**

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1

## Overview Perspective 2

PLOT DATE: 06/11/2023 3:10:54 pm

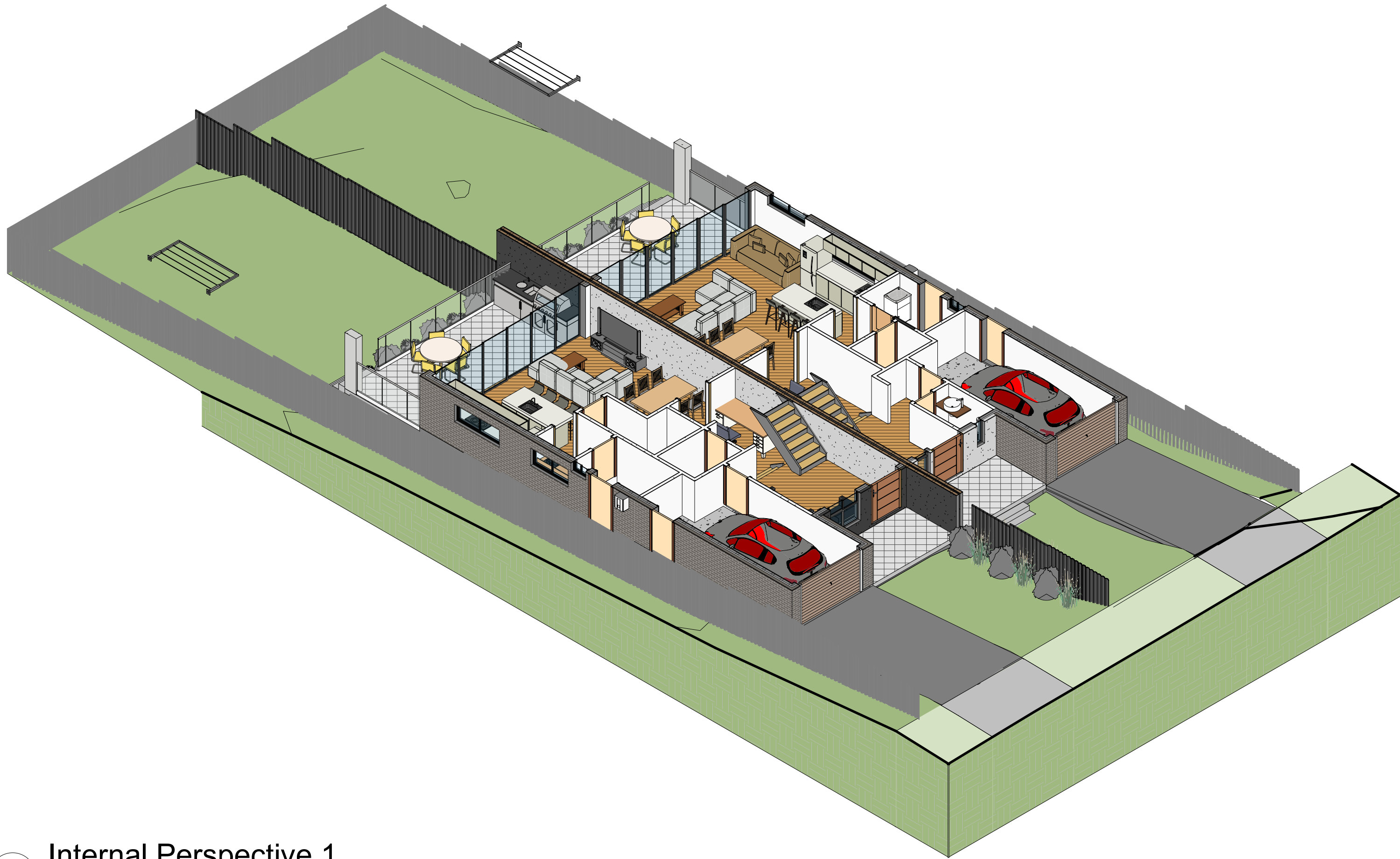
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| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Overview Perspective  
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**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A103  
**COUNCIL AREA :** **SCALE:**

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# Internal Perspective 1

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| A   | 06.11.23 | Issued for Development Application E.T. |         |

DRAWING TITLE: Internal Perspective  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: A104  
COUNCIL AREA : SCALE:

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PROJECT NO: 0001





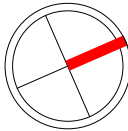
1

# Internal Perspective 2

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**DRAWING TITLE:** Internal Perspective  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



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**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A105  
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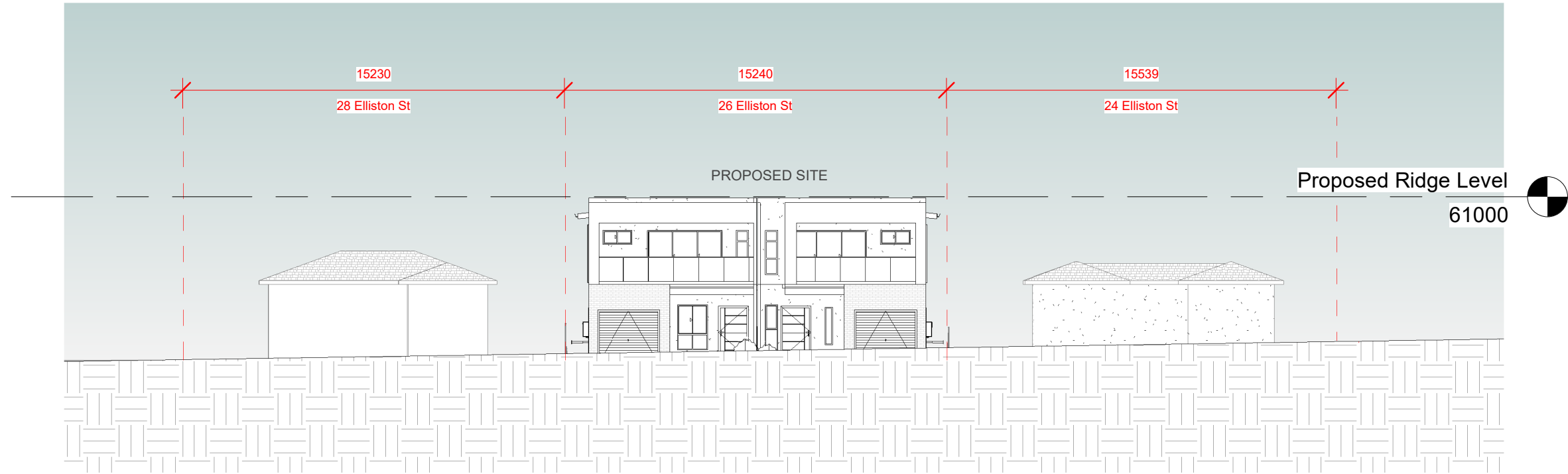
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BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT





# Streetscape Elevation

1 : 200



16 Treuer Parade, Yagoona  
(Mar 2021- Google Maps Images)

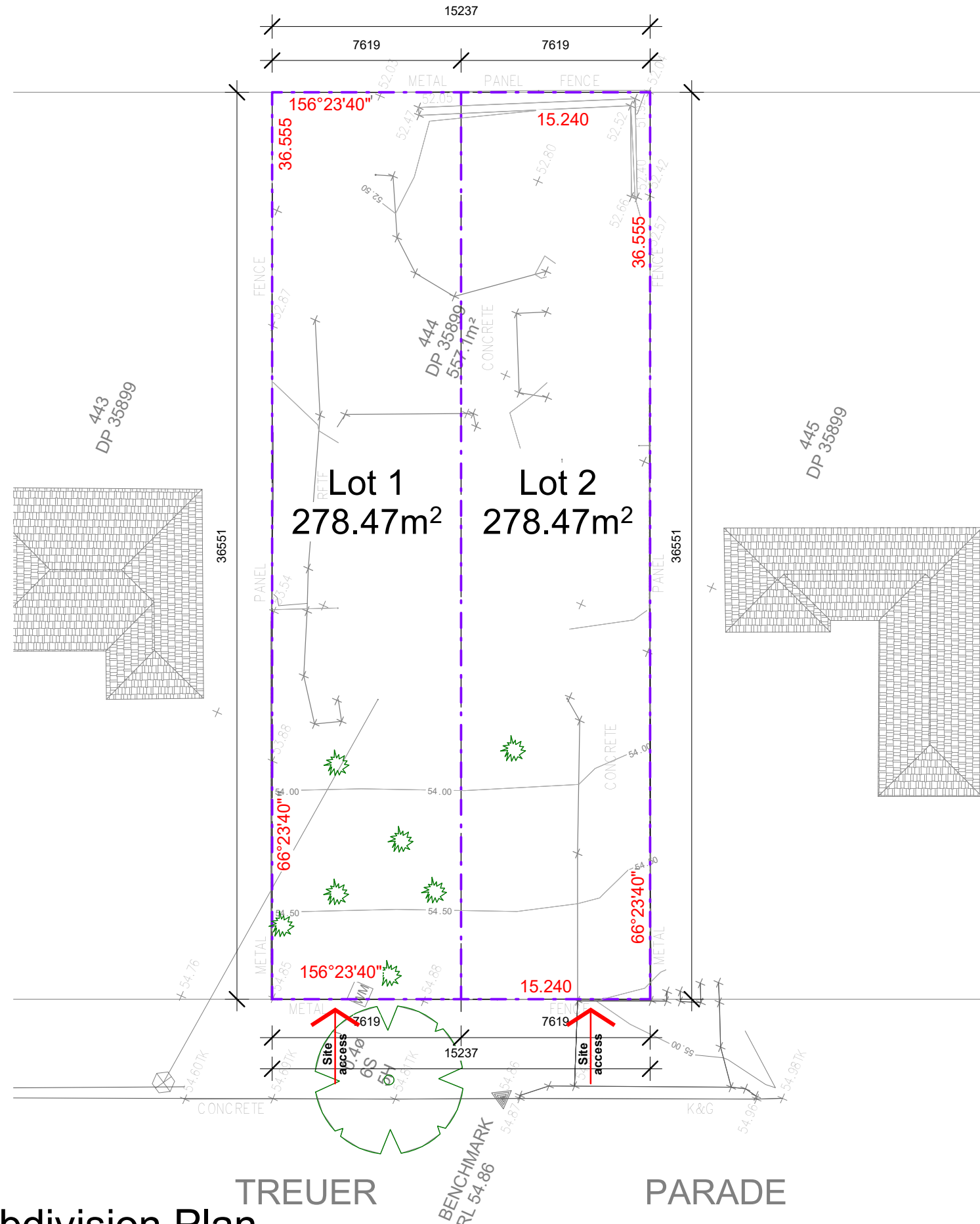


20 Treuer Parade, Yagoona  
(Mar 2021- Google Maps Images)

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| A   | 06.11.23 | Issued for Development Application E.T. |         |

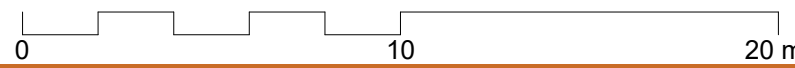
**DRAWING TITLE:** Streetscape Elevation  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT: 444 | SEC: | DP: 35899**

**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A107  
**COUNCIL AREA:** **SCALE:** 1 : 200



# 1 Subdivision Plan

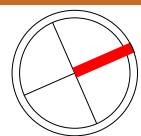
1 : 200



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**DRAWING TITLE:** Subdivision Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899

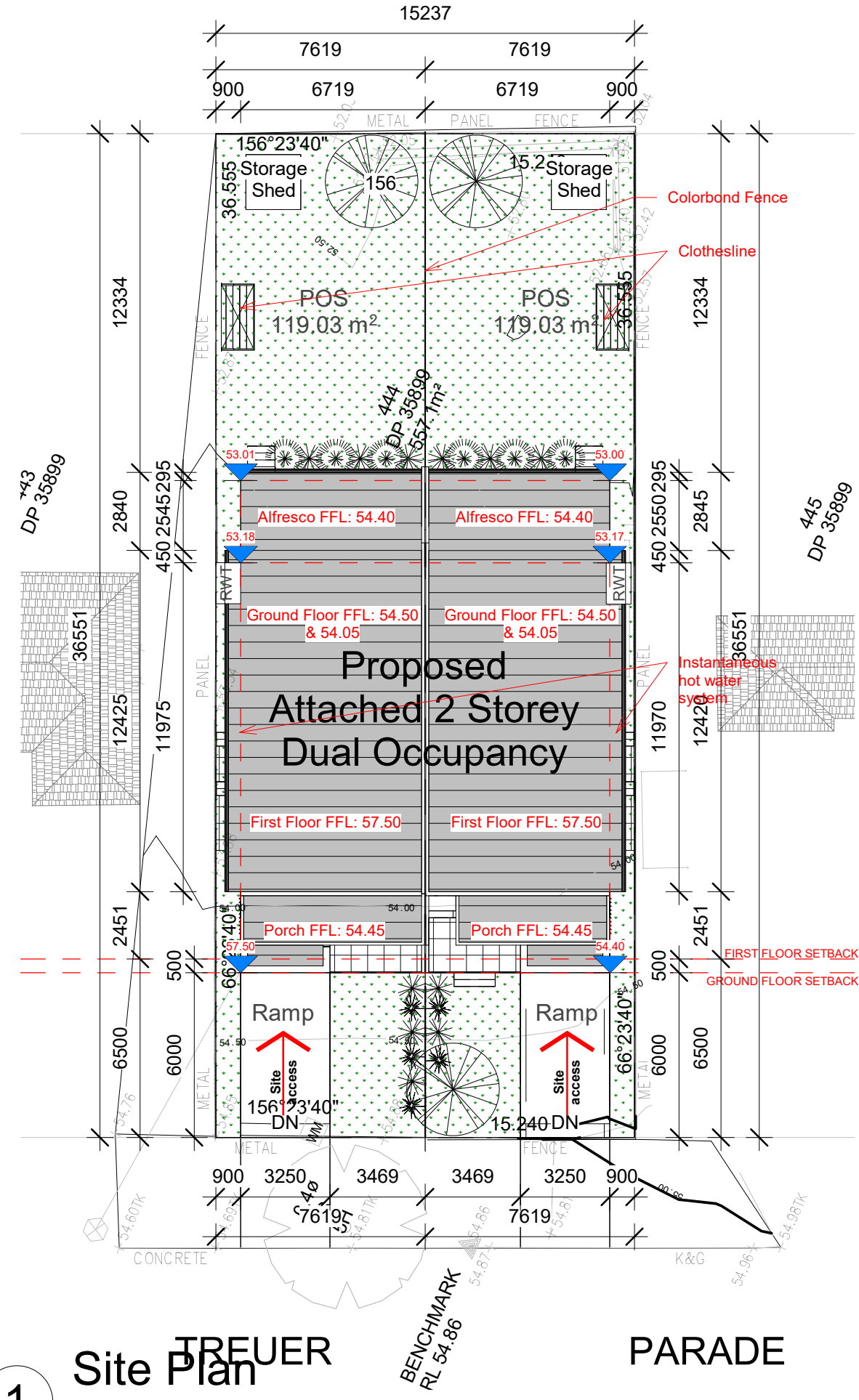


**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
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**COUNCIL AREA :** **SCALE:** 1 : 200

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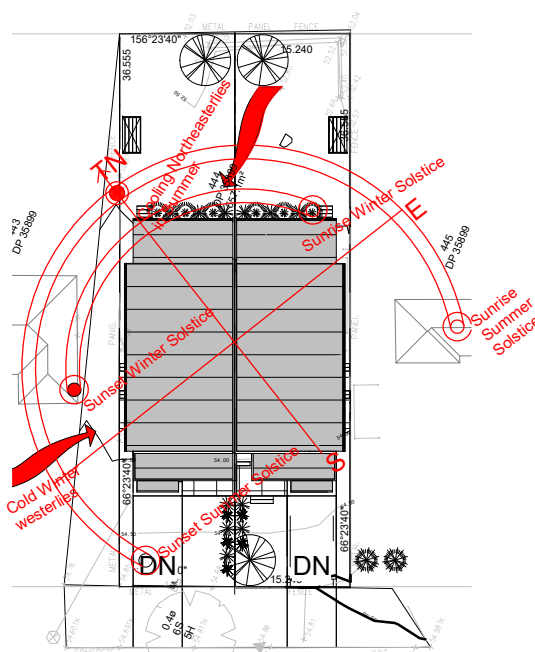


PLOT DATE: 06/11/2023 3:12:02 pm



## Site Plan

1 : 200

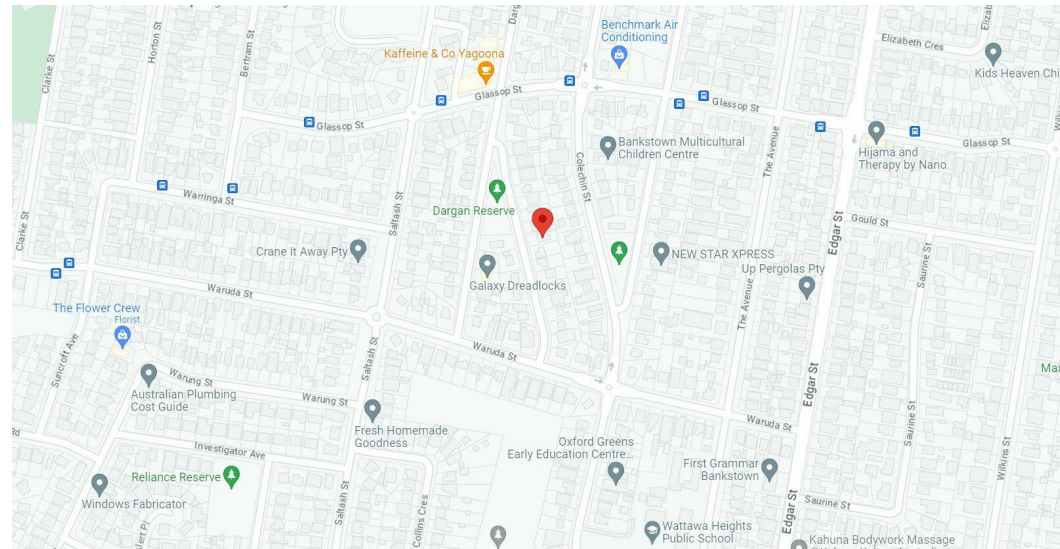


## Sunpath Analysis

1 : 500

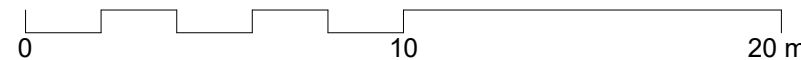
| Area Schedule    |                       |
|------------------|-----------------------|
| Name             | Area                  |
| Unit 1           |                       |
| Alfresco         | 19.77 m <sup>2</sup>  |
| Balcony          | 12.11 m <sup>2</sup>  |
| Driveway         | 19.50 m <sup>2</sup>  |
| First Floor      | 71.33 m <sup>2</sup>  |
| Garage           | 16.53 m <sup>2</sup>  |
| Ground Floor     | 67.55 m <sup>2</sup>  |
| Landscape        | 133.45 m <sup>2</sup> |
| Porch            | 6.68 m <sup>2</sup>   |
| POS              | 119.03 m <sup>2</sup> |
| Site Area        | 278.47 m <sup>2</sup> |
| Unit 2           |                       |
| Alfresco         | 19.77 m <sup>2</sup>  |
| Balcony          | 10.08 m <sup>2</sup>  |
| Driveway         | 19.50 m <sup>2</sup>  |
| First Floor      | 71.33 m <sup>2</sup>  |
| Garage           | 15.93 m <sup>2</sup>  |
| Ground Floor     | 67.55 m <sup>2</sup>  |
| Landscape        | 132.70 m <sup>2</sup> |
| Porch            | 6.68 m <sup>2</sup>   |
| POS              | 119.03 m <sup>2</sup> |
| Site Area        | 278.47 m <sup>2</sup> |
| Unit 1 Total TFA | 138.88 m <sup>2</sup> |
| Unit 1 FSR       | 0.50                  |
| Unit 2 Total TFA | 138.88 m <sup>2</sup> |
| Unit 2 FSR       | 0.50                  |

## LOCATION MAP



## NOTES AND SPECIFICATION

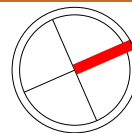
- These drawings are to be read in conjunction with the architectural drawings, structural drawings, and the specification.
- Prior to commencement of works the contractor shall satisfy himself of the correct location of existing services whether indicated or not on the plans. Any damage to existing services shall be rectified at the contractor's expense.
- Traffic management measures have to be implemented and maintained during construction, all in accordance with Council's requirements. The contractor shall maintain safe pedestrian access along the footpath.
- The contractor shall effect temporary drainage measures to avoid localised ponding of surface run-off.
- Refer to architect's drawings for all details (levels, grading, etc.) of driveways, concrete and paved areas, and retaining wall types and locations.
- Refer to landscape architect's drawings for details and extent of all landscaped areas.
- All SWD pipes are UPVC at 1.0% minimum grade.
- SWD pits can be pre-cast sized as follows: 450mm sq. up to 600mm deep 600mm sq. up to 1000mm deep
- All pits located in trafficable areas, (ie, driveways) to have medium-duty grated covers suitable for withstanding loads associated with small trucks.
- Provide step irons to all pits greater than 1.2m deep.
- The contractor shall implement all soil erosion and sediment control measures prior to commencement of works.
- Topsoil shall be stripped dn stockpile outside hazard areas such as drainage lines. This topsoil is to be respread later on are as to be revegetated.
- The contractor shall regularly maintain all sediment and erosion control devices and remove accumulated silt from such devices. All silt removed shall be disposed of as directed by the superintendent. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or Council.
- The contractor shall maintain dust control until final completion of works



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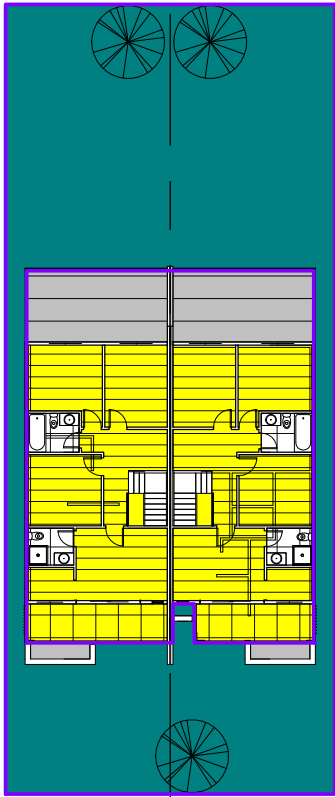
| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Site Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



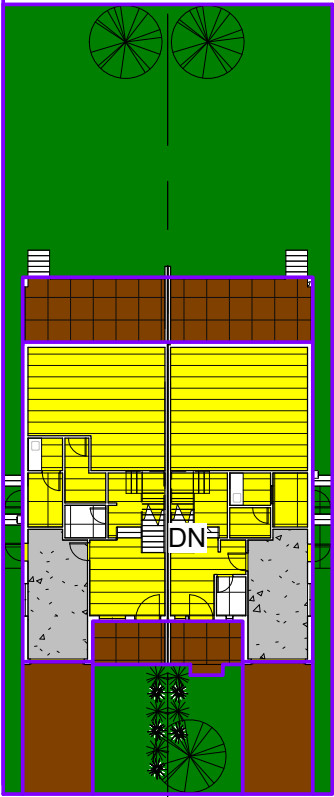
**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A109  
**COUNCIL AREA:** **SCALE:** As indicated

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**PROJECT NO:** 0001



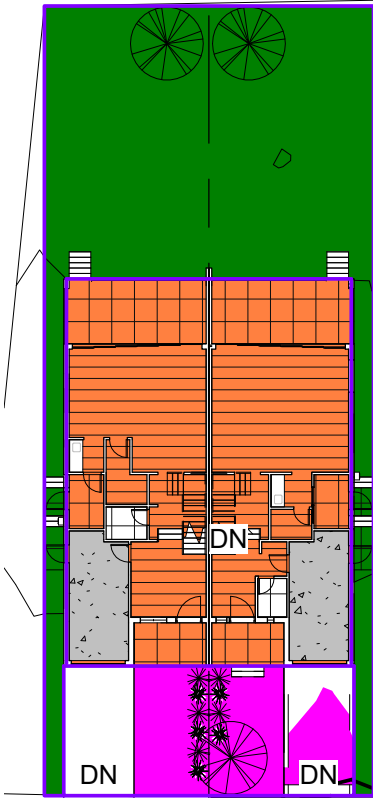
- Building Area Legend
- Building Area
  - Exterior Space

SITE COVERAGE



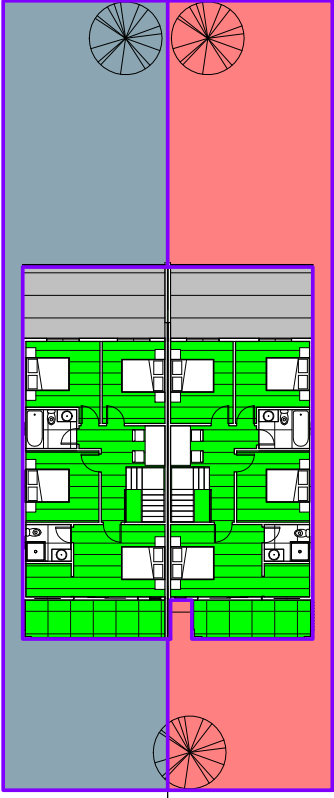
- Building Area Legend
- Building Area
  - Hard Surface Coverage
  - Permeable Area

SITE PERMEABILITY



- Building Area Legend
- Front Yard
  - Ground Floor
  - Rear and Side Landscaping

AREA GROUND FLOOR PLAN



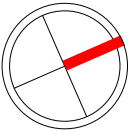
- Building Area Legend
- First Floor
  - Lot 1
  - Lot 2

AREA FIRST FLOOR PLAN

PLOT DATE: 06/11/2023 3:12:03 pm

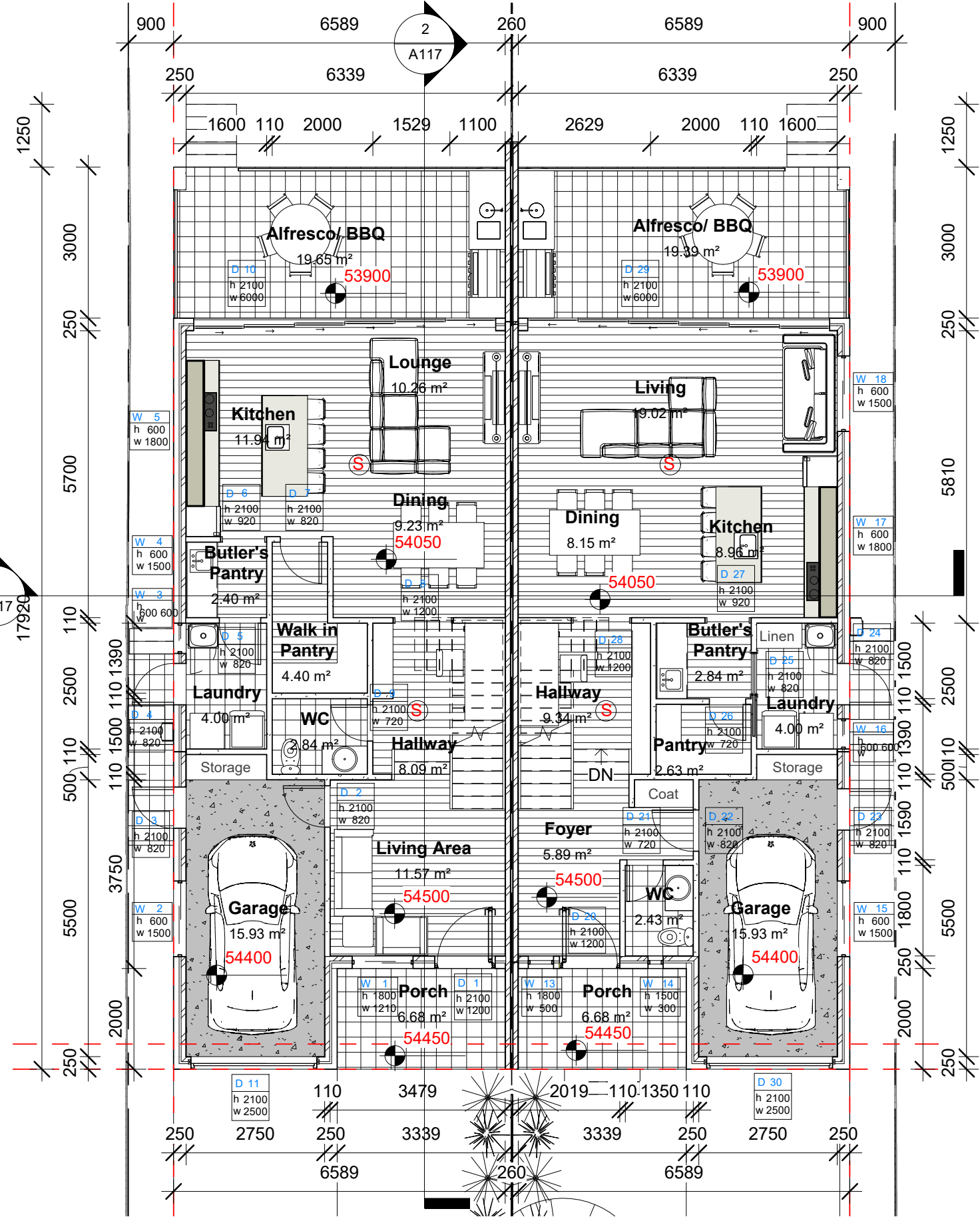
| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

DRAWING TITLE: Analysis Plan  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899



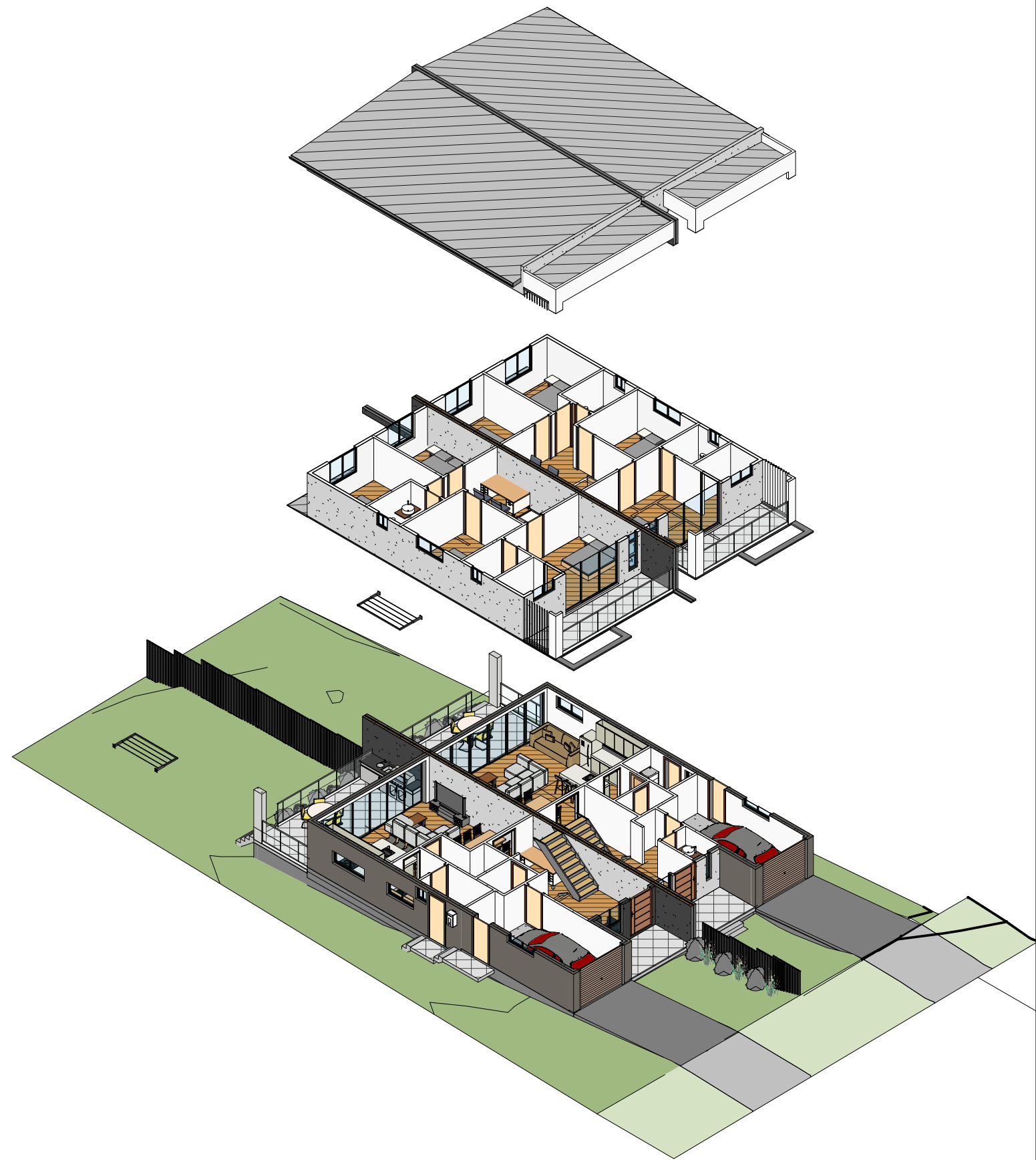
SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: A110  
COUNCIL AREA : SCALE: 1 : 350





## Proposed Ground Level

1 : 100

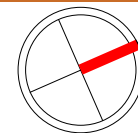


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| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Ground Floor Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT: 444 | SEC: | DP:35899**

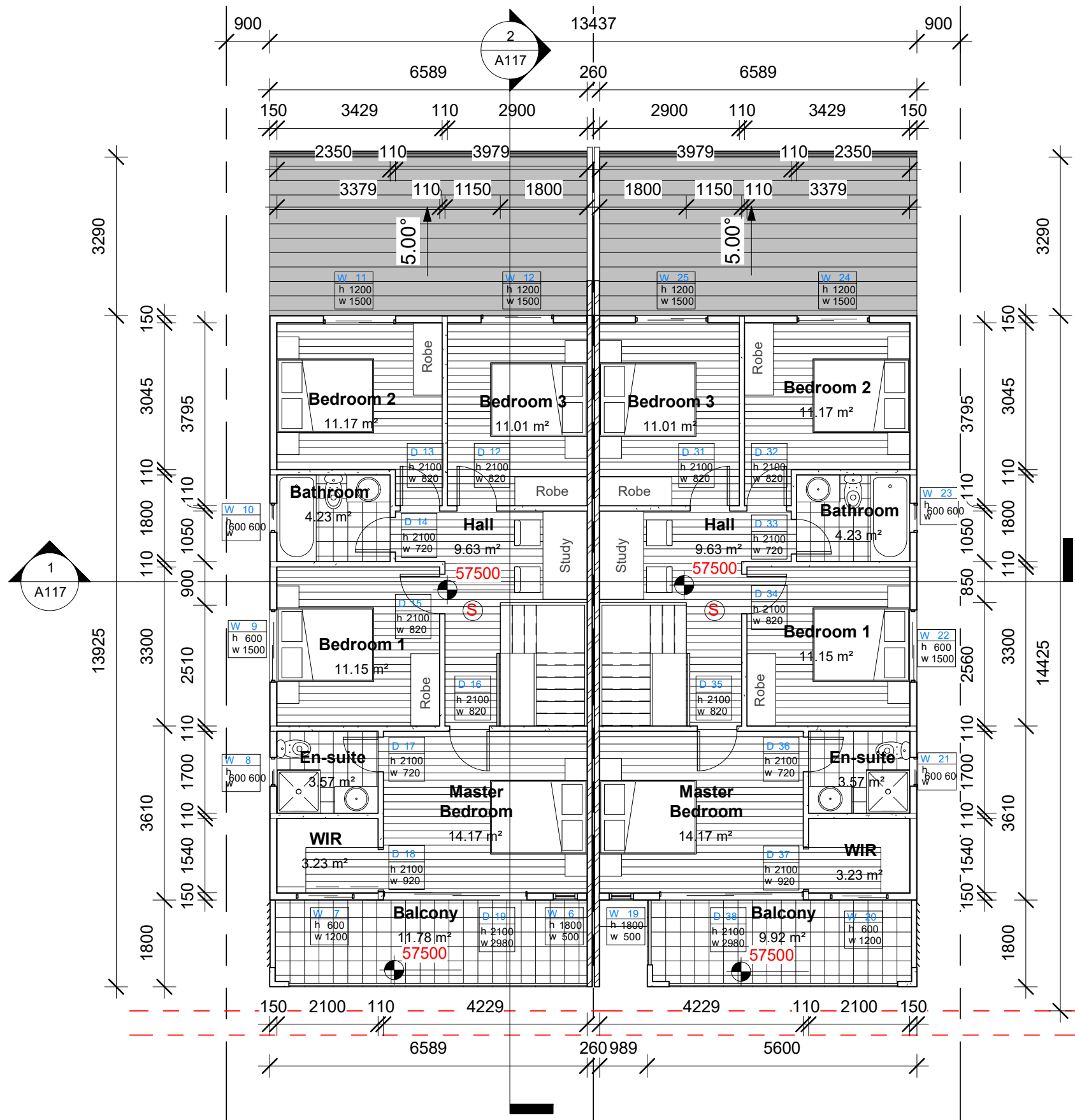


**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A111  
**COUNCIL AREA:** **SCALE:** 1 : 100

**MAHN** **bd** **aa**  
**DESIGN** ACCREDITED  
BUILDING DESIGNER

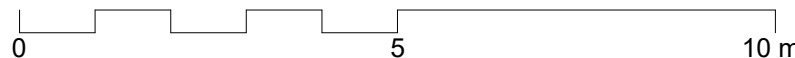
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PROJECT NO: 0001



# 1 Proposed First Floor Level

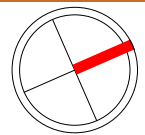
1 : 100



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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** First Floor Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT: 444 | SEC: | DP:35899**

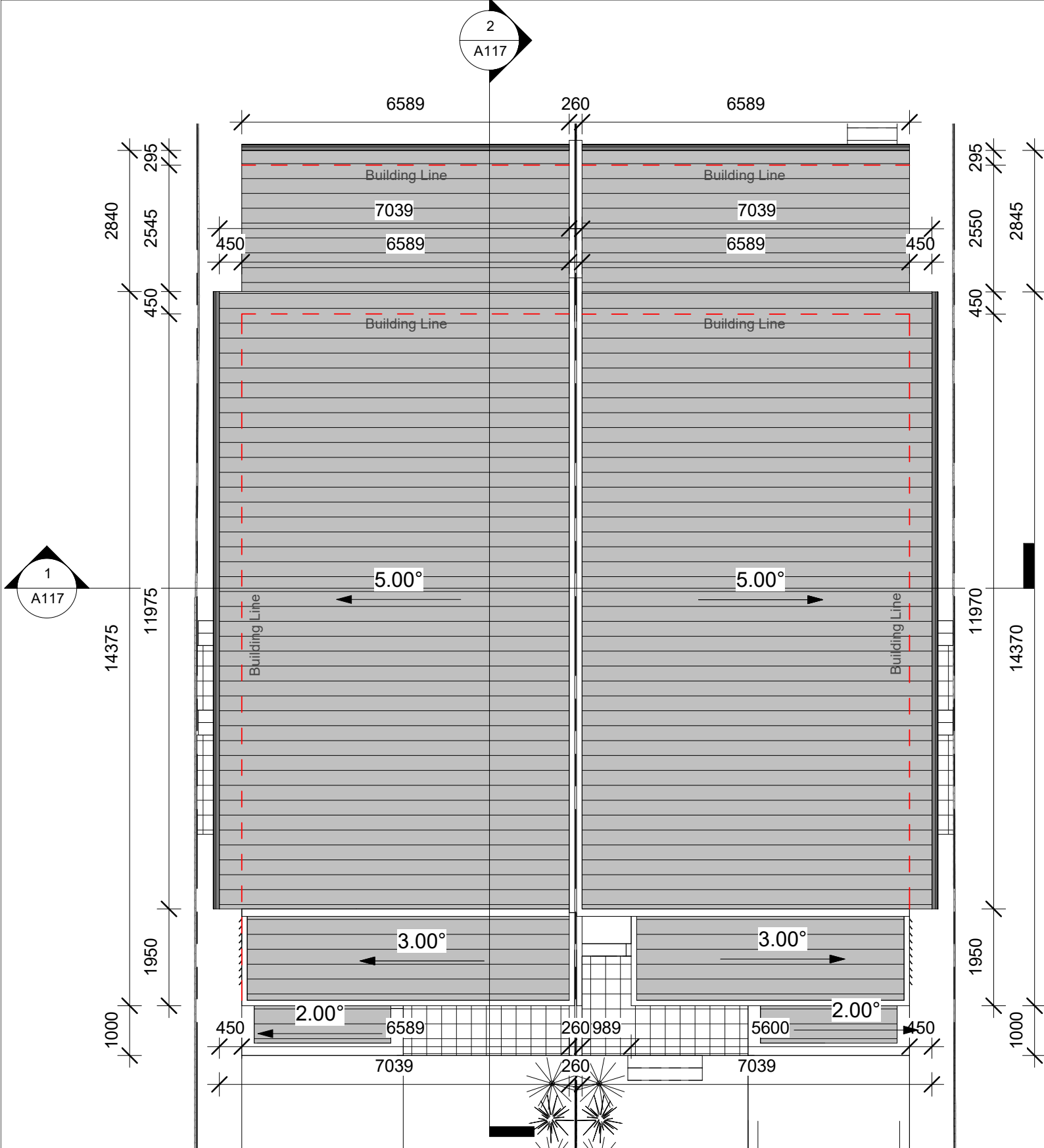


**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A112  
**COUNCIL AREA:** **SCALE:** 1 : 100

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Ph: 02 8319 9447 | info@mahn.com.au | www.mahn.com.au

PROJECT NO: 0001

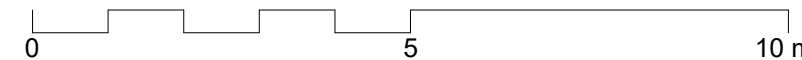




1 Proposed Roof Plan  
1 : 100



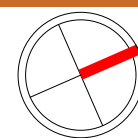
2 Perspective View



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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Roof Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT: 444 | SEC: | DP:35899**



**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A113  
**COUNCIL AREA :** **SCALE:** 1 : 100

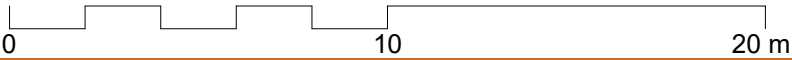
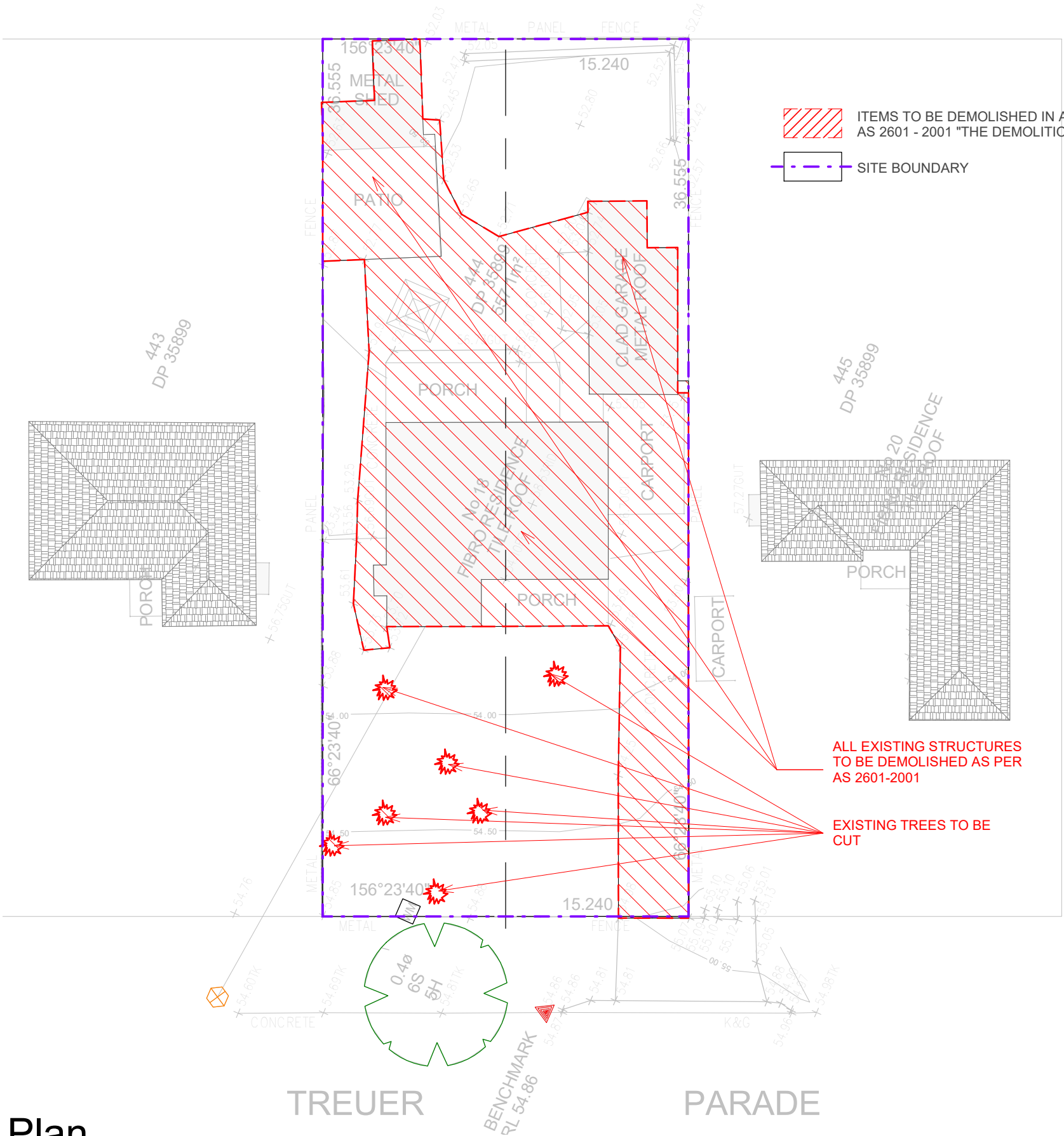
**MAHN DESIGN** **bdqa** ACCREDITED BUILDING DESIGNER  
Suite 4/259 Northumberland St, Liverpool NSW 2170, Australia  
Ph: 02 8319 9447 | info@mahn.com.au | www.mahn.com.au  
**PROJECT NO:** 0001

PLOT DATE: 06/11/2023 3:12:38 pm

1

# Demolition Plan

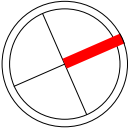
1 : 200



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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Demolition Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



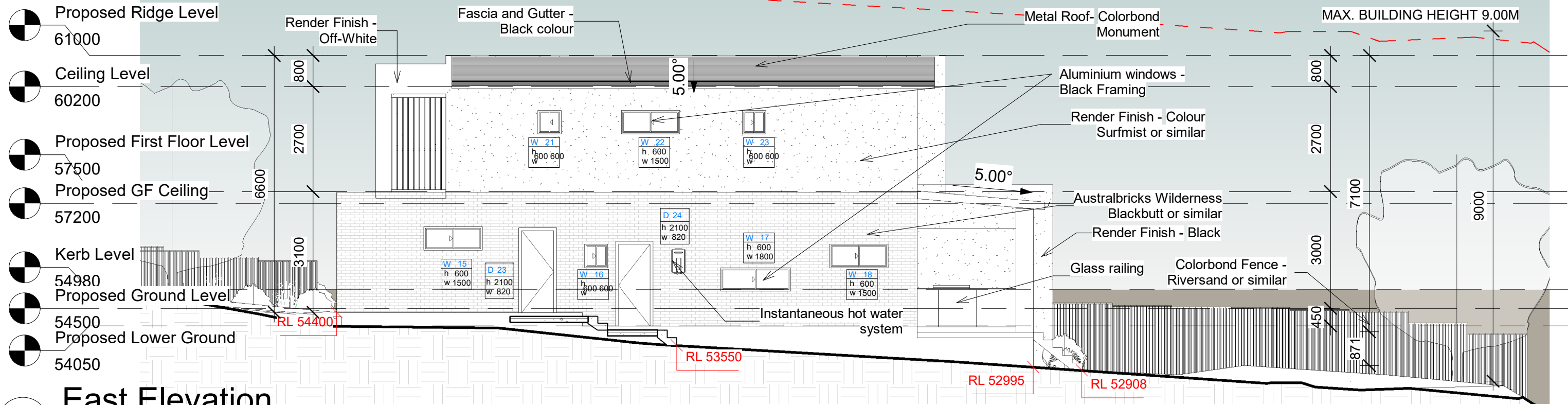
**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A114  
**COUNCIL AREA :** **SCALE:** 1 : 200

**MAHN DESIGN** ACCREDITED BUILDING DESIGNER  
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**PROJECT NO:** 0001





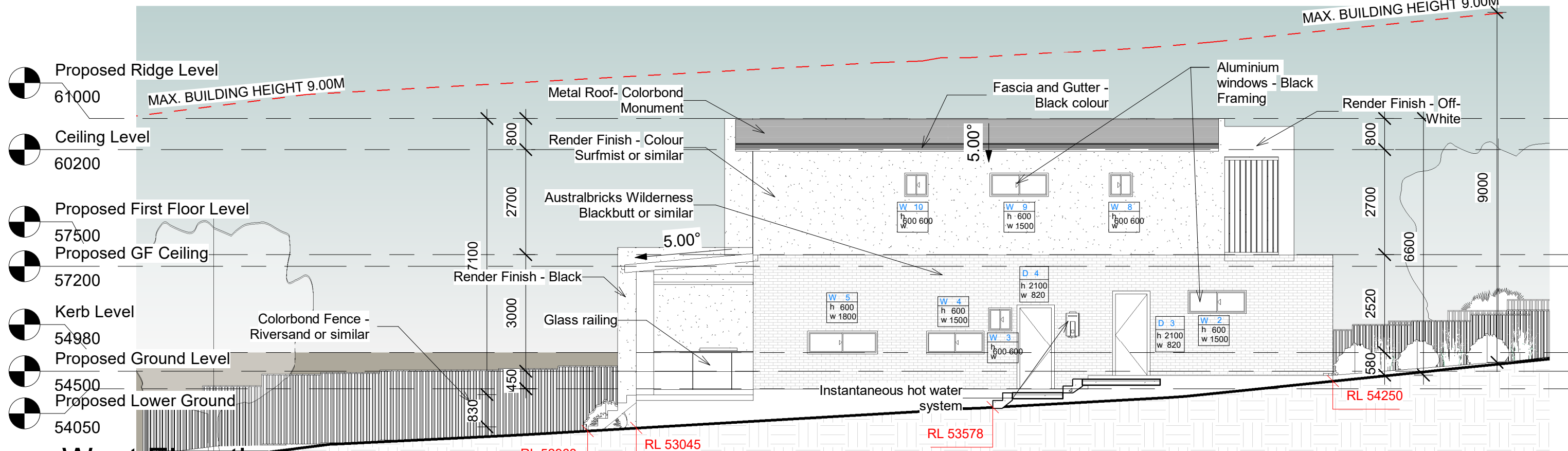
MAX. BUILDING HEIGHT 9.00M



## East Elevation

1 : 100

MAX. BUILDING HEIGHT 9.00M



## West Elevation

1 : 100

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| REV | DATE     | DESCRIPTION                             | INITIAL |
|-----|----------|---|---------|
| A   | 06.11.23 | Issued for Development Application E.T. |         |

DRAWING TITLE: Elevations  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: A116  
COUNCIL AREA : SCALE: 1 : 100

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BUILDING DESIGNER  
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Ph: 02 8319 9447 | info@mahn.com.au | www.mahn.com.au  
PROJECT NO: 0001



Proposed Ridge Level  
61000

Ceiling Level  
60200

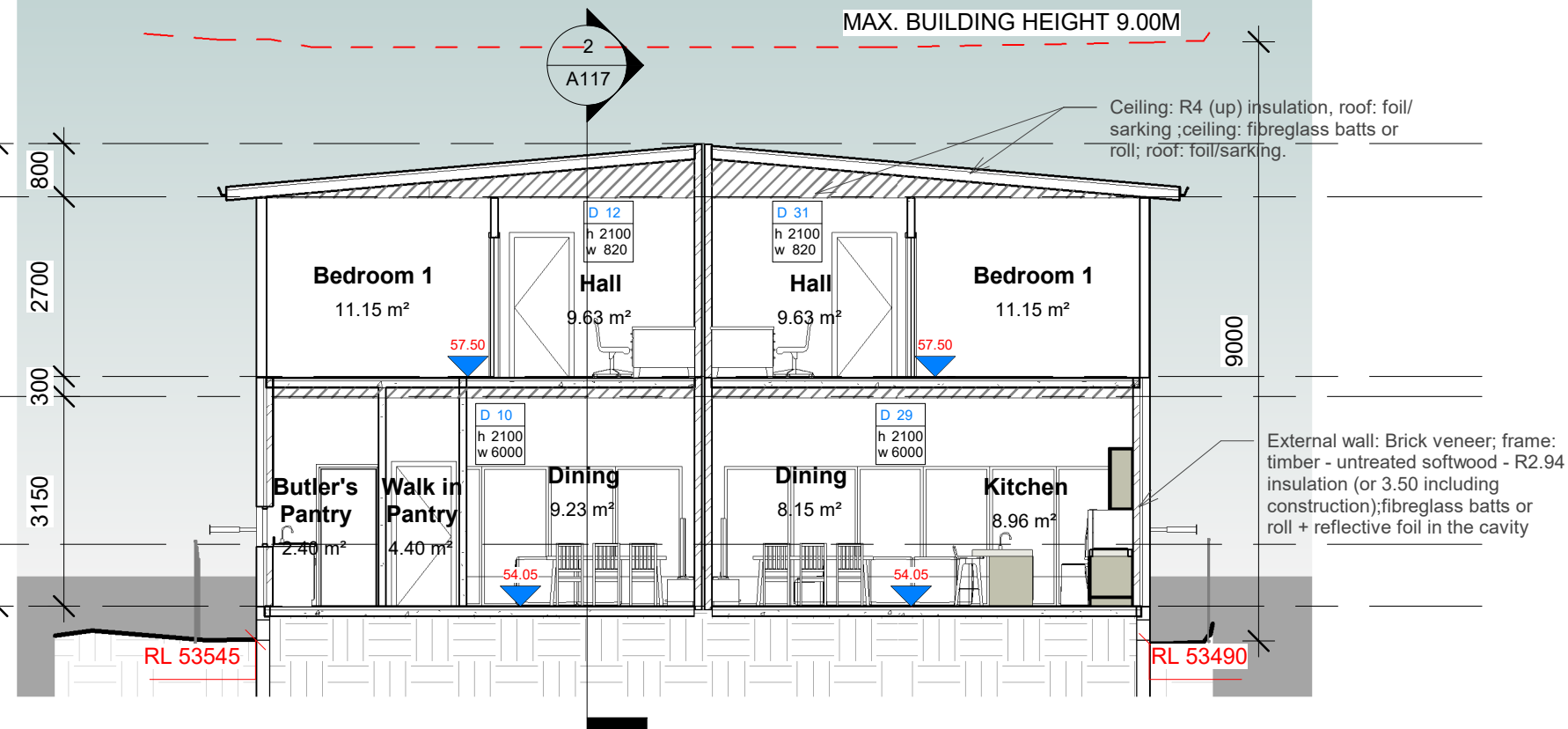
Proposed First Floor Level  
57500

Proposed GF Ceiling  
57200

Kerb Level  
54980

Proposed Lower Ground  
54050

Section 1  
1 : 100



Proposed Ridge Level  
61000

Ceiling Level  
60200

Proposed First Floor Level  
57500

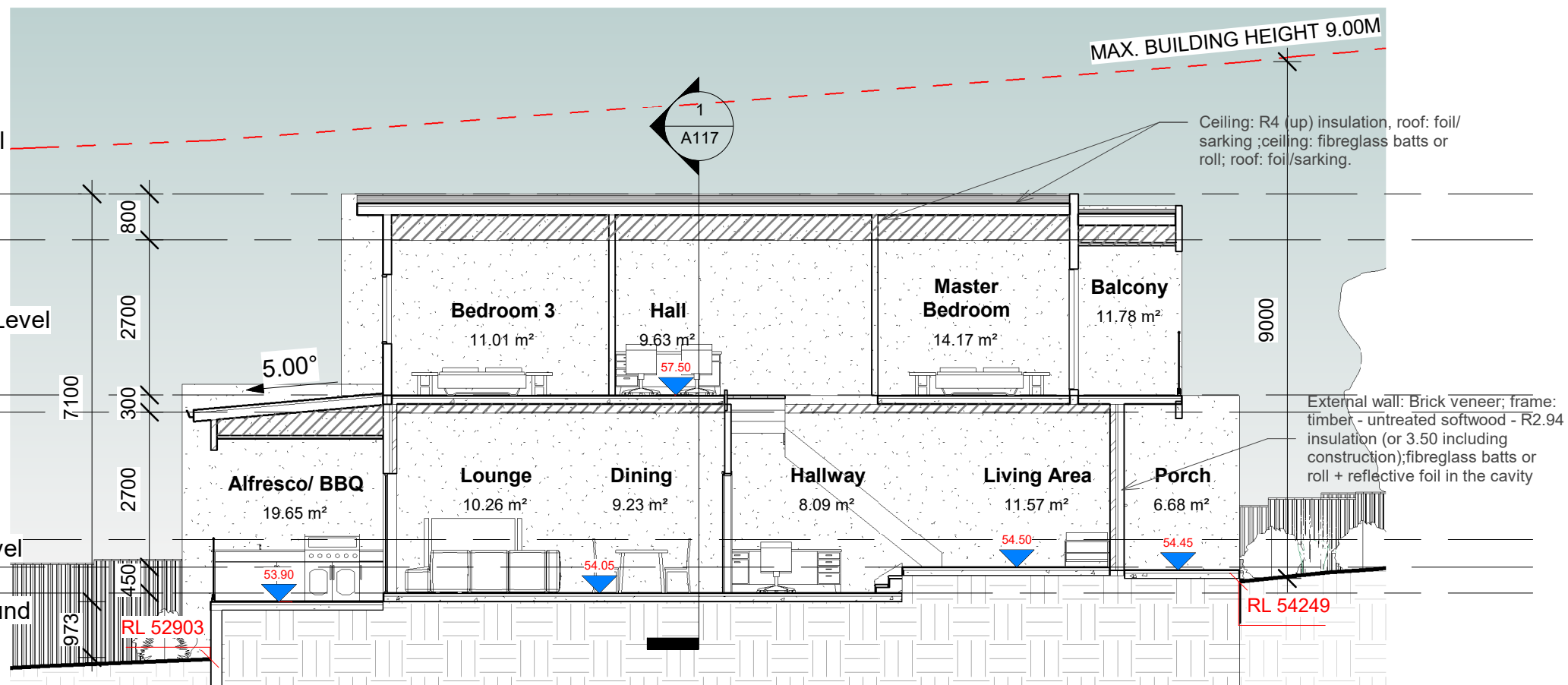
Proposed GF Ceiling  
57200

Kerb Level  
54980

Proposed Ground Level  
54500

Proposed Lower Ground  
54050

Section 2  
1 : 100



| REV | DATE     | DESCRIPTION                             | INITIAL |
|-----|----------|---|---------|
| A   | 06.11.23 | Issued for Development Application E.T. |         |

DRAWING TITLE: Sections  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899

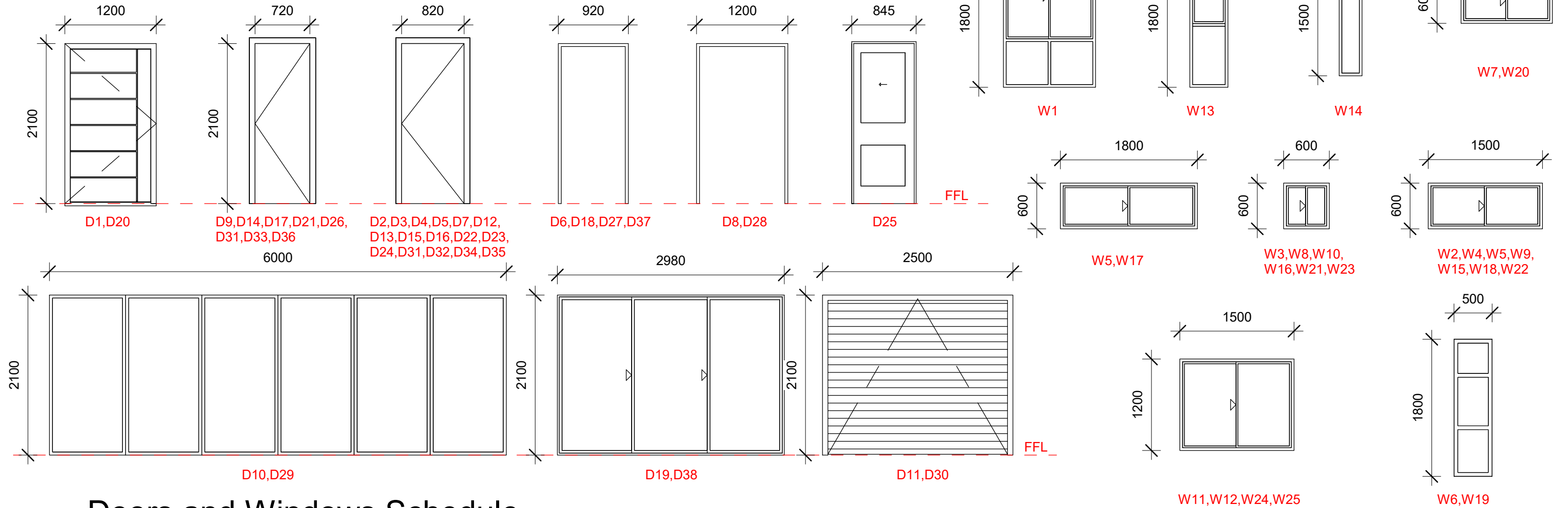
SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: A117  
COUNCIL AREA: SCALE: 1 : 100

| Door Schedule |       |        |                              |
|---------------|-------|--------|------------------------------|
| Mark          | Width | Height | Description                  |
| UNIT 1        |       |        |                              |
| 1             | 1200  | 2100   | Entry Door                   |
| 2             | 820   | 2100   | Single Flush Door            |
| 3             | 820   | 2100   | Single Flush Door            |
| 4             | 820   | 2100   | Single Flush Door            |
| 5             | 820   | 2100   | Single Flush Door            |
| 6             | 920   | 2100   | Interior Cased Opening       |
| 7             | 820   | 2100   | Single Flush Door            |
| 8             | 1200  | 2100   | Interior Cased Opening       |
| 9             | 720   | 2100   | Single Flush- Bathroom Door  |
| 10            | 6000  | 2100   | Aluminium Sliding Door       |
| 11            | 2500  | 2100   | Garage Door- Flush Panel     |
| 12            | 820   | 2100   | Single Flush Door            |
| 13            | 820   | 2100   | Single Flush Door            |
| 14            | 720   | 2100   | Single Flush- Bathroom Door  |
| 15            | 820   | 2100   | Single Flush Door            |
| 16            | 820   | 2100   | Single Flush Door            |
| 17            | 720   | 2100   | Single Flush- Bathroom Door  |
| 18            | 920   | 2100   | Interior Cased Opening       |
| 19            | 2980  | 2100   | Aluminum Stacking Patio Door |

| Door Schedule |       |        |                              |
|---------------|-------|--------|------------------------------|
| Mark          | Width | Height | Description                  |
| UNIT 2        |       |        |                              |
| 20            | 1200  | 2100   | Entry Door                   |
| 21            | 720   | 2100   | Single Flush- Bathroom Door  |
| 22            | 820   | 2100   | Single Flush Door            |
| 23            | 820   | 2100   | Single Flush Door            |
| 24            | 820   | 2100   | Single Flush Door            |
| 25            | 820   | 2100   | Single Flush Pocket Door     |
| 26            | 720   | 2100   | Single Flush- Bathroom Door  |
| 27            | 920   | 2100   | Interior Cased Opening       |
| 28            | 1200  | 2100   | Interior Cased Opening       |
| 29            | 6000  | 2100   | Aluminium Sliding Door       |
| 30            | 2500  | 2100   | Garage Door- Flush Panel     |
| 31            | 820   | 2100   | Single Flush Door            |
| 32            | 820   | 2100   | Single Flush Door            |
| 33            | 720   | 2100   | Single Flush- Bathroom Door  |
| 34            | 820   | 2100   | Single Flush Door            |
| 35            | 820   | 2100   | Single Flush Door            |
| 36            | 720   | 2100   | Single Flush- Bathroom Door  |
| 37            | 920   | 2100   | Interior Cased Opening       |
| 38            | 2980  | 2100   | Aluminum Stacking Patio Door |

| Window Schedule |       |        |             |                         |
|-----------------|-------|--------|-------------|-------------------------|
| Mark            | Width | Height | Sill Height | Description             |
| Unit 1          |       |        |             |                         |
| 1               | 1210  | 1800   | 400         | Aluminum Sliding Window |
| 2               | 1500  | 600    | 1500        | Aluminum Sliding Window |
| 3               | 600   | 600    | 1500        | Aluminum Sliding Window |
| 4               | 1500  | 600    | 900         | Aluminum Sliding Window |
| 5               | 1800  | 600    | 900         | Aluminum Sliding Window |
| 6               | 500   | 1800   | 400         | Aluminium Fixed Window  |
| 7               | 1200  | 600    | 1600        | Aluminum Sliding Window |
| 8               | 600   | 600    | 1500        | Aluminum Sliding Window |
| 9               | 1500  | 600    | 1500        | Aluminum Sliding Window |
| 10              | 600   | 600    | 1500        | Aluminum Sliding Window |
| 11              | 1500  | 1200   | 900         | Aluminum Sliding Window |
| 12              | 1500  | 1200   | 900         | Aluminum Sliding Window |

| Window Schedule |       |        |             |                         |
|-----------------|-------|--------|-------------|-------------------------|
| Mark            | Width | Height | Sill Height | Description             |
| Unit 2          |       |        |             |                         |
| 13              | 500   | 1800   | 400         | Aluminum Awning Window  |
| 14              | 300   | 1500   | 600         | Aluminum Fixed Window   |
| 15              | 1500  | 600    | 1500        | Aluminum Sliding Window |
| 16              | 600   | 600    | 1500        | Aluminum Sliding Window |
| 17              | 1800  | 600    | 900         | Aluminum Sliding Window |
| 18              | 1500  | 600    | 1500        | Aluminum Sliding Window |
| 19              | 500   | 1800   | 400         | Aluminium Fixed Window  |
| 20              | 1200  | 600    | 1600        | Aluminum Sliding Window |
| 21              | 600   | 600    | 1500        | Aluminum Sliding Window |
| 22              | 1500  | 600    | 1500        | Aluminum Sliding Window |
| 23              | 600   | 600    | 1500        | Aluminum Sliding Window |
| 24              | 1500  | 1200   | 900         | Aluminum Sliding Window |
| 25              | 1500  | 1200   | 900         | Aluminum Sliding Window |



# Doors and Windows Schedule

1 : 50

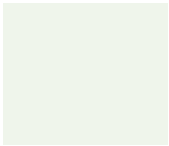

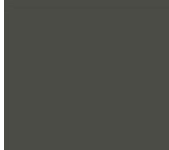




| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Doors and Windows Schedule  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899

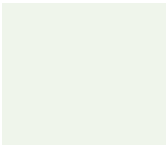

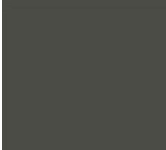



**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A118  
**COUNCIL AREA :** **SCALE:** 1 : 50



EXTERIOR FINISHES FOR UNIT 1

|                                     |  |
|-------------------------------------|--|
| EXTERIOR WALLS                      | <div><p>Render Finish colour- Off -White and Colorbond Surfmist or equivalent</p></div> <div><p>Austral Bricks - Wilderness Blackbutt or similar</p></div> <div><p>Accent Wall colour -Basalt or equivalent</p></div> |
| ROOF                                | <div><p>Corrugated Roof - Colorbond - Monument or Similar</p></div>  |
| EXTERIOR DOORS                      | <div><p>Timber Framed Door</p></div>  |
| WINDOW FRAMES, GUTTER AND DOWNPIPES | <div><p>Gutter colour - Black<br/>Downpipes colour - White</p></div>  |
| EXTERIOR FLOORS                     | <div><p>Concrete Driveway<br/>Natural colour</p></div>  |

EXTERIOR FINISHES FOR UNIT 2

|                                     |  |
|-------------------------------------|--|
| EXTERIOR WALLS                      | <div><p>Render Finish colour- Off -White and Colorbond Surfmist or equivalent</p></div> <div><p>Austral Bricks - Wilderness Blackbutt or similar</p></div> <div><p>Accent Wall colour -Basalt or equivalent</p></div> |
| ROOF                                | <div><p>Corrugated Roof - Colorbond - Monument or Similar</p></div>   |
| EXTERIOR DOORS                      | <div><p>Timber Framed Door</p></div>  |
| WINDOW FRAMES, GUTTER AND DOWNPIPES | <div><p>Gutter colour - Black<br/>Downpipes colour - White</p></div>  |
| EXTERIOR FLOORS                     | <div><p>Concrete Driveway<br/>Natural colour</p></div>  |

PLOT DATE: 06/11/2023 3:12:46 pm

| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

DRAWING TITLE: Materials and Finishes Schedule  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: A119  
COUNCIL AREA : SCALE:

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 16 October 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project summary           |   |  |             |
|---------------------------|---|--|-------------|
| Project name              | A-23006 - Unit 1 15 Treuer Parade, Yagoona, NSW |  |             |
| Street address            | 15 TREUER PARADE YAGOONA 2199                   |  |             |
| Local Government Area     | Canterbury-Bankstown Council                    |  |             |
| Plan type and plan number | Deposited Plan 35899                            |  |             |
| Lot no.                   | 444   |  |             |
| Section no.               | -   |  |             |
| Project type              | dwelling house (attached)                       |  |             |
| No. of bedrooms           | 4   |  |             |
| Project score             |   |  |             |
| Water                     | ✓ 47  |  | Target 40   |
| Thermal Performance       | ✓ Pass  |  | Target Pass |
| Energy                    | ✓ 75  |  | Target 72   |
| Materials                 | ✓ 11  |  | Target n/a  |

| Certificate Prepared by          |  |
|----------------------------------|--|
| Name / Company Name: Statiker    |  |
| ABN (if applicable): 55319613625 |  |

| Thermal Performance and Materials commitments  |                       | Show on DA plans               | Show on CC/CDC plans & specs        | Certifier check      |
|--|-----------------------|--------------------------------|-------------------------------------|----------------------|
| DIY  |                       |                                |                                     |                      |
| General features   |                       |                                |                                     |                      |
| The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.  |                       | ✓                              | ✓                                   | ✓                    |
| The conditioned floor area of the dwelling must not exceed 300 square metres.  |                       | ✓                              | ✓                                   | ✓                    |
| The dwelling must not contain open mezzanine area exceeding 25 square metres.  |                       | ✓                              | ✓                                   | ✓                    |
| The dwelling must not contain third level habitable attic room.  |                       | ✓                              | ✓                                   | ✓                    |
| Floor, walls and ceiling/roof  |                       |                                |                                     |                      |
| The applicant must construct the floors, walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.                  |                       | ✓                              | ✓                                   | ✓                    |
| The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floors, walls and ceiling/roof of the dwelling. |                       | ✓                              | ✓                                   | ✓                    |
| The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.          |                       |                                |                                     | ✓                    |
|  |                       |                                |                                     |                      |
| Construction   | Area - m <sup>2</sup> | Additional insulation required | Options to address thermal bridging | Other specifications |
| floor - concrete slab on ground.   | 67.55                 | n/none specified               | n/a                                 |                      |
| floor - above habitable rooms or mezzanine, particle board, frame: timber - untreated softwood.  | 61.47                 | n/none                         | n/a                                 |                      |
| floor - suspended floor above garage, particle board, frame: timber - untreated softwood.  | 8.83                  | n/none                         | n/a                                 |                      |
| garage floor - concrete slab on ground, waffle pool slab.  | 15.93                 | none                           | n/a                                 |                      |

| Glazed window/door no. | Orientation | Maximum height (mm) | Maximum width (mm) | Frame and glass specification                              | Shading device (Dimension within 15%)                         | Overshadowing    |
|------------------------|-------------|---------------------|--------------------|--|---|------------------|
| D10                    | N           | 2100.00             | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 3000 mm, 2600 mm above base of window or glazed door | not overshadowed |
| D19                    | S           | 2100.00             | 2980.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1900 mm, 2400 mm above base of window or glazed door | not overshadowed |
| W06                    | S           | 1800.00             | 500.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1900 mm, 2100 mm above base of window or glazed door | not overshadowed |
| W07                    | S           | 1200.00             | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1900 mm, 850 mm above base of window or glazed door  | not overshadowed |
| W01                    | S           | 1900.00             | 1210.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1000 mm, 2200 mm above base of window or glazed door | not overshadowed |
| W10                    | W           | 600.00              | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 560 mm above head of window or glazed door       | not overshadowed |
| W09                    | W           | 600.00              | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 560 mm above head of window or glazed door       | not overshadowed |
| W08                    | W           | 600.00              | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 560 mm above head of window or glazed door       | not overshadowed |
| W04                    | W           | 600.00              | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none  | not overshadowed |
| W05                    | W           | 600.00              | 1800.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none  | not overshadowed |

| Legend   |  |
|--|--|
| In these commitments, "applicant" means the person carrying out the development.   |  |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).             |  |
| Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |  |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.                   |  |

## Description of project

| Project address                    |   | Assessor details and thermal loads       |                    |
|------------------------------------|---|--|--------------------|
| Project name                       | A-23006 - Unit 1 15 Treuer Parade, Yagoona, NSW | Assessor number                          | n/a                |
| Street address                     | 15 TREUER PARADE YAGOONA 2199                   | Certificate number                       | n/a                |
| Local Government Area              | Canterbury-Bankstown Council                    | Climate zone                             | n/a                |
| Plan type and plan number          | Deposited Plan 35899                            | Area adjusted cooling load (MJ/ m²/year) | n/a                |
| Lot no.                            | 444   | Area adjusted heating load (MJ/ m²/year) | n/a                |
| Section no.                        | -   | Project score                            |                    |
| Project type                       | dwelling house (attached)                       | Water                                    | ✓ 47 Target 40     |
| No. of bedrooms                    | 4   | Thermal Performance                      | ✓ Pass Target Pass |
| Site details                       |   | Energy                                   | ✓ 75 Target 72     |
| Site area (m²)                     | 278   | Materials                                | ✓ 11 Target n/a    |
| Roof area (m²)                     | 120   |  |                    |
| Conditioned floor area (m²)        | 126.78  |  |                    |
| Unconditioned floor area (m²)      | 11.07   |  |                    |
| Total area of garden and lawn (m²) | 133   |  |                    |

| Construction   | Area - m²          | Additional insulation required  | Options to address thermal bridging | Other specifications   |
|--|--------------------|---|-------------------------------------|--|
| external wall: brick veneer, frame: timber - untreated softwood.   | all external walls | 2.54 (or 3.50 including construction/fibreglass batts or roll - reflective foil in the cavity | n/a                                 | wall colour: Light (color absorbance < 0.48)                                 |
| external garage wall: brick veneer, frame: please select.  | 1                  | Fibreglass batts or roll - reflective foil in the cavity                                      | n/a                                 |  |
| internal wall shared with garage: plasterboard, frame: timber - untreated softwood.  | 8.25               | n/none  | n/a                                 |  |
| internal wall: plasterboard, frame: timber - untreated softwood.   | 144.13             | none  | n/a                                 |  |
| ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.   | 120.12             | ceiling: 4 (up) roof: foil/sarking/ceiling: fibreglass batts or roll, roof: foil/sarking      | n/a                                 | roof colour: dark (color absorbance 0.71-0.79); ceiling area fully insulated |
| Note: • Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.                     |                    |   |                                     |  |
| Note: • If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code. |                    |   |                                     |  |
| Note: • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.                     |                    |   |                                     |  |
| Note: • Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.                  |                    |   |                                     |  |

| Glazed window/door no. | Orientation | Maximum height (mm) | Maximum width (mm) | Frame and glass specification                              | Shading device (Dimension within 15%) | Overshadowing    |
|------------------------|-------------|---------------------|--------------------|--|---------------------------------------|------------------|
| W03                    | W           | 600.00              | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none                                  | not overshadowed |
| W02                    | W           | 600.00              | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none                                  | not overshadowed |

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments  |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Landscape  |                  |                              |                 |
| The applicant must plant indigenous or low water use species of vegetation throughout 133.45 square metres of the site.  | ✓                | ✓                            |                 |
| Fixtures   |                  |                              |                 |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.  |                  | ✓                            | ✓               |
| The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.   |                  | ✓                            | ✓               |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.   |                  | ✓                            | ✓               |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.   |                  | ✓                            | ✓               |
| Alternative water  |                  |                              |                 |
| Rainwater tank   |                  |                              |                 |
| The applicant must install a rainwater tank of at least 800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.                     | ✓                | ✓                            | ✓               |
| The applicant must configure the rainwater tank to collect rain runoff from at least 120.13 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). |                  | ✓                            | ✓               |
| The applicant must connect the rainwater tank to:  |                  | ✓                            | ✓               |
| • at toilets in the development  |                  | ✓                            | ✓               |
| • the cold water tap that supplies each clothes washer in the development  |                  | ✓                            | ✓               |

| Thermal Performance and Materials commitments  |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Ceiling fans   |                  |                              |                 |
| The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.  | ✓                | ✓                            | ✓               |
| The applicant must install at least one ceiling fan in each bedroom.   | ✓                | ✓                            | ✓               |
| • The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code. | ✓                | ✓                            | ✓               |

| Energy Commitments   |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Hot water  |                  |                              |                 |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.            | ✓                | ✓                            | ✓               |
| Cooling system   |                  |                              |                 |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 3.5 - 4.0 |                  | ✓                            | ✓               |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 3.5 - 4.0     |                  | ✓                            | ✓               |
| Heating system   |                  |                              |                 |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 3.5 - 4.0 |                  | ✓                            | ✓               |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 3.5 - 4.0     |                  | ✓                            | ✓               |
| Ventilation  |                  |                              |                 |
| The applicant must install the following exhaust systems in the development:<br>At least 1 Bathroom: no mechanical ventilation (ie. natural). Operation control: n/a               |                  | ✓                            | ✓               |
| Kitchen: no mechanical ventilation (ie. natural). Operation control: n/a   |                  | ✓                            | ✓               |
| Laundry: natural ventilation only, or no laundry. Operation control: n/a   |                  | ✓                            | ✓               |
| Artificial lighting  |                  |                              |                 |
| The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.                           |                  | ✓                            | ✓               |
| Natural lighting   |                  |                              |                 |
| The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.  | ✓                | ✓                            | ✓               |

| Thermal Performance and Materials commitments   |                  |                              |                 |
|---|------------------|------------------------------|-----------------|
|   | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Glazed windows, doors and skylights   |                  |                              |                 |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.  | ✓                | ✓                            | ✓               |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.   | ✓                | ✓                            | ✓               |
| The following requirements must also be satisfied in relation to each window and glazed door:   | ✓                | ✓                            | ✓               |
| • The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.   | ✓                | ✓                            | ✓               |
| • Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.  |                  | ✓                            | ✓               |
| • Vertical external louvers and blinds must fully shade the glazed window or door beside which they are situated when fully drawn or closed.  | ✓                | ✓                            | ✓               |
| • Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.   | ✓                | ✓                            | ✓               |
| The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table). | ✓                | ✓                            | ✓               |

| Glazed window/door no. | Orientation | Maximum height (mm) | Maximum width (mm) | Frame and glass specification                              | Shading device (Dimension within 15%)                    | Overshadowing    |
|------------------------|-------------|---------------------|--------------------|--|--|------------------|
| W12                    | N           | 1200.00             | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 1000 mm above head of window or glazed door | not overshadowed |
| W11                    | N           | 1200.00             | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 750 mm above head of window or glazed door  | not overshadowed |

| Thermal Performance and Materials commitments   |                  |                              |                 |
|---|------------------|------------------------------|-----------------|
|   | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Glazed windows, doors and skylights   |                  |                              |                 |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.  | ✓                | ✓                            | ✓               |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.   | ✓                | ✓                            | ✓               |
| The following requirements must also be satisfied in relation to each window and glazed door:   | ✓                | ✓                            | ✓               |
| • The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.   | ✓                | ✓                            | ✓               |
| • Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.  |                  | ✓                            | ✓               |
| • Vertical external louvers and blinds must fully shade the glazed window or door beside which they are situated when fully drawn or closed.  | ✓                | ✓                            | ✓               |
| • Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.   | ✓                | ✓                            | ✓               |
| The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table). | ✓                | ✓                            | ✓               |

| Glazed window/door no. | Orientation | Maximum height (mm) | Maximum width (mm) | Frame and glass specification                              | Shading device (Dimension within 15%)                    | Overshadowing    |
|------------------------|-------------|---------------------|--------------------|--|--|------------------|
| W12                    | N           | 1200.00             | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 1000 mm above head of window or glazed door | not overshadowed |
| W11                    | N           | 1200.00             | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 750 mm above head of window or glazed door  | not overshadowed |

| Energy Commitments   |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Other  |                  |                              |                 |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.   |                  | ✓                            |                 |
| The applicant must install a fixed outdoor clothes drying line as part of the development. |                  | ✓                            |                 |



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" (dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au))

Secretary  
Date of issue: Monday, 16 October 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project summary           |   |  |             |
|---------------------------|---|--|-------------|
| Project name              | A-23006 - Unit 2 18 Treuer Parade, Yagoona, NSW |  |             |
| Street address            | 18 TREUER PARADE YAGOONA 2199                   |  |             |
| Local Government Area     | Centenary-Bankstown Council                     |  |             |
| Plan type and plan number | Deposited Plan 35899                            |  |             |
| Lot no.                   | 444   |  |             |
| Section no.               | -   |  |             |
| Project type              | dwelling house (attached)                       |  |             |
| No. of bedrooms           | 4   |  |             |
| Project score             |   |  |             |
| Water                     | ✓ 47  |  | Target 40   |
| Thermal Performance       | ✓ Pass  |  | Target Pass |
| Energy                    | ✓ 75  |  | Target 72   |
| Materials                 | ✓ 10  |  | Target n/a  |

| Certificate Prepared by |             |
|-------------------------|-------------|
| Name / Company Name:    | Statiker    |
| ABN (if applicable):    | 55319613625 |

| Thermal Performance and Materials commitments  |                       |                                |                                     |
|--|-----------------------|--------------------------------|-------------------------------------|
|  | Show on DA plans      | Show on CC/CDC plans & specs   | Certifier check                     |
| DIY  |                       |                                |                                     |
| General features   |                       |                                |                                     |
| The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.  | ✓                     | ✓                              | ✓                                   |
| The conditioned floor area of the dwelling must not exceed 300 square metres.  | ✓                     | ✓                              | ✓                                   |
| The dwelling must not contain open mezzanine area exceeding 25 square metres.  | ✓                     | ✓                              | ✓                                   |
| The dwelling must not contain third level habitable attic room.  | ✓                     | ✓                              | ✓                                   |
| Floor, walls and ceiling/roof  |                       |                                |                                     |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.                  | ✓                     | ✓                              | ✓                                   |
| The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling. | ✓                     | ✓                              | ✓                                   |
| The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.            |                       |                                | ✓                                   |
| Construction   |                       |                                |                                     |
| Construction   | Area - m <sup>2</sup> | Additional insulation required | Options to address thermal bridging |
| floor - concrete slab on ground.   | 87.55                 | nil/not specified              | nil                                 |
| floor - above habitable rooms or mezzanine, particle board, frame: timber - untreated softwood.  | 51.68                 | nil/none                       | nil                                 |
| floor - suspended floor above garage, particle board, frame: timber - untreated softwood.  | 10.83                 | nil/none                       | nil                                 |
| garage floor - concrete slab on ground, waffle pod slab.   | 15.93                 | not specified                  | nil                                 |

| Glazed window/door no. | Orientation | Maximum height (mm) | Maximum width (mm) | Frame and glass specification                              | Shading device (Dimension within 50%)                         | Overshading      |
|------------------------|-------------|---------------------|--------------------|--|---|------------------|
| W25                    | N           | 1200.00             | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 750 mm above head of window or glazed door       | not overshadowed |
| W23                    | E           | 600.00              | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 560 mm above head of window or glazed door       | not overshadowed |
| W22                    | E           | 600.00              | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 560 mm above head of window or glazed door       | not overshadowed |
| W21                    | E           | 600.00              | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 560 mm above head of window or glazed door       | not overshadowed |
| W18                    | E           | 600.00              | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none  | not overshadowed |
| W17                    | E           | 600.00              | 1800.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none  | not overshadowed |
| W16                    | E           | 600.00              | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none  | not overshadowed |
| W15                    | E           | 600.00              | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none  | not overshadowed |
| W20                    | S           | 600.00              | 1200.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1800 mm, 850 mm above base of window or glazed door  | not overshadowed |
| W19                    | S           | 1800.00             | 500.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1800 mm, 2100 mm above base of window or glazed door | not overshadowed |
| W13                    | S           | 1800.00             | 500.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | none  | not overshadowed |

| Legend   |  |
|--|--|
| In these commitments, "applicant" means the person carrying out the development.   |  |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).             |  |
| Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |  |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.                   |  |

## Description of project

| Project address                                 |   | Assessor details and thermal loads                   |                    |
|---|---|--|--------------------|
| Project name                                    | A-23006 - Unit 2 18 Treuer Parade, Yagoona, NSW | Assessor number                                      | n/a                |
| Street address                                  | 18 TREUER PARADE YAGOONA 2199                   | Certificate number                                   | n/a                |
| Local Government Area                           | Centenary-Bankstown Council                     | Climate zone   | n/a                |
| Plan type and plan number                       | Deposited Plan 35899                            | Area adjusted cooling load (MJ/m <sup>2</sup> /year) | n/a                |
| Lot no.   | 444   | Area adjusted heating load (MJ/m <sup>2</sup> /year) | n/a                |
| Section no.                                     | -   |  |                    |
| Project type                                    |   | Project score  |                    |
| Project type                                    | dwelling house (attached)                       | Water  | ✓ 47 Target 40     |
| No. of bedrooms                                 | 4   | Thermal Performance                                  | ✓ Pass Target Pass |
| Site details                                    |   | Energy   | ✓ 75 Target T2     |
| Site area (m <sup>2</sup> )                     | 278   | Materials  | ✓ 10 Target n/a    |
| Roof area (m <sup>2</sup> )                     | 120   |  |                    |
| Conditioned floor area (m <sup>2</sup> )        | 127.4   |  |                    |
| Unconditioned floor area (m <sup>2</sup> )      | 10.66   |  |                    |
| Total area of garden and lean (m <sup>2</sup> ) | 133   |  |                    |

| Construction  | Area - m <sup>2</sup> | Additional insulation required  | Options to address thermal bridging | Other specifications  |
|---|-----------------------|---|-------------------------------------|---|
| external wall: brick veneer, frame: timber - untreated softwood.  | all external walls    | 2.54 (or 3.50 including construction/fibreglass batts or roll - reflective foil in the cavity | nil                                 | wall colour: Light (solar absorptance < 0.48)                                 |
| external garage wall: brick veneer, frame: plasterboard.  | 1                     | Fibreglass batts or roll - reflective foil in the cavity.                                     | nil                                 |   |
| internal wall shared with garage: plasterboard, frame: timber - untreated softwood.   | 8.78                  | nil/none  | nil                                 |   |
| internal wall: plasterboard, frame: timber - untreated softwood.  | 136.37                | none  | nil                                 |   |
| ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.  | 120.12                | ceiling: 4 (a), roof: foil/sarking; ceiling: fibreglass batts or roll, roof: furthering.      | nil                                 | roof colour: dark (solar absorptance 0.71-0.79); ceiling area fully insulated |
| Note * Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.                     |                       |   |                                     |   |
| Note * If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (E)) of the National Construction Code. |                       |   |                                     |   |
| Note * In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.                     |                       |   |                                     |   |
| Note * Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.                  |                       |   |                                     |   |

| Glazed window/door no. | Orientation | Maximum height (mm) | Maximum width (mm) | Frame and glass specification                              | Shading device (Dimension within 50%)                         | Overshading      |
|------------------------|-------------|---------------------|--------------------|--|---|------------------|
| W14                    | S           | 1500.00             | 300.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1000 mm, 2000 mm above base of window or glazed door | not overshadowed |
| D38                    | S           | 2100.00             | 2960.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 1800 mm, 2400 mm above base of window or glazed door | not overshadowed |

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments  |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Landscape  |                  |                              |                 |
| The applicant must plant indigenous or low water use species of vegetation throughout 132.7 square metres of the site.   | ✓                | ✓                            |                 |
| Fixtures   |                  |                              |                 |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.  |                  | ✓                            | ✓               |
| The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.   |                  | ✓                            | ✓               |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.   |                  | ✓                            |                 |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.   |                  | ✓                            |                 |
| Alternative water  |                  |                              |                 |
| Rainwater tank   |                  |                              |                 |
| The applicant must install a rainwater tank of at least 100 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.                     | ✓                | ✓                            | ✓               |
| The applicant must configure the rainwater tank to collect rain runoff from at least 120.12 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). |                  | ✓                            | ✓               |
| The applicant must connect the rainwater tank to:  |                  |                              |                 |
| • all toilets in the development   |                  | ✓                            | ✓               |
| • the cold water tap that supplies each clothes washer in the development  |                  | ✓                            | ✓               |

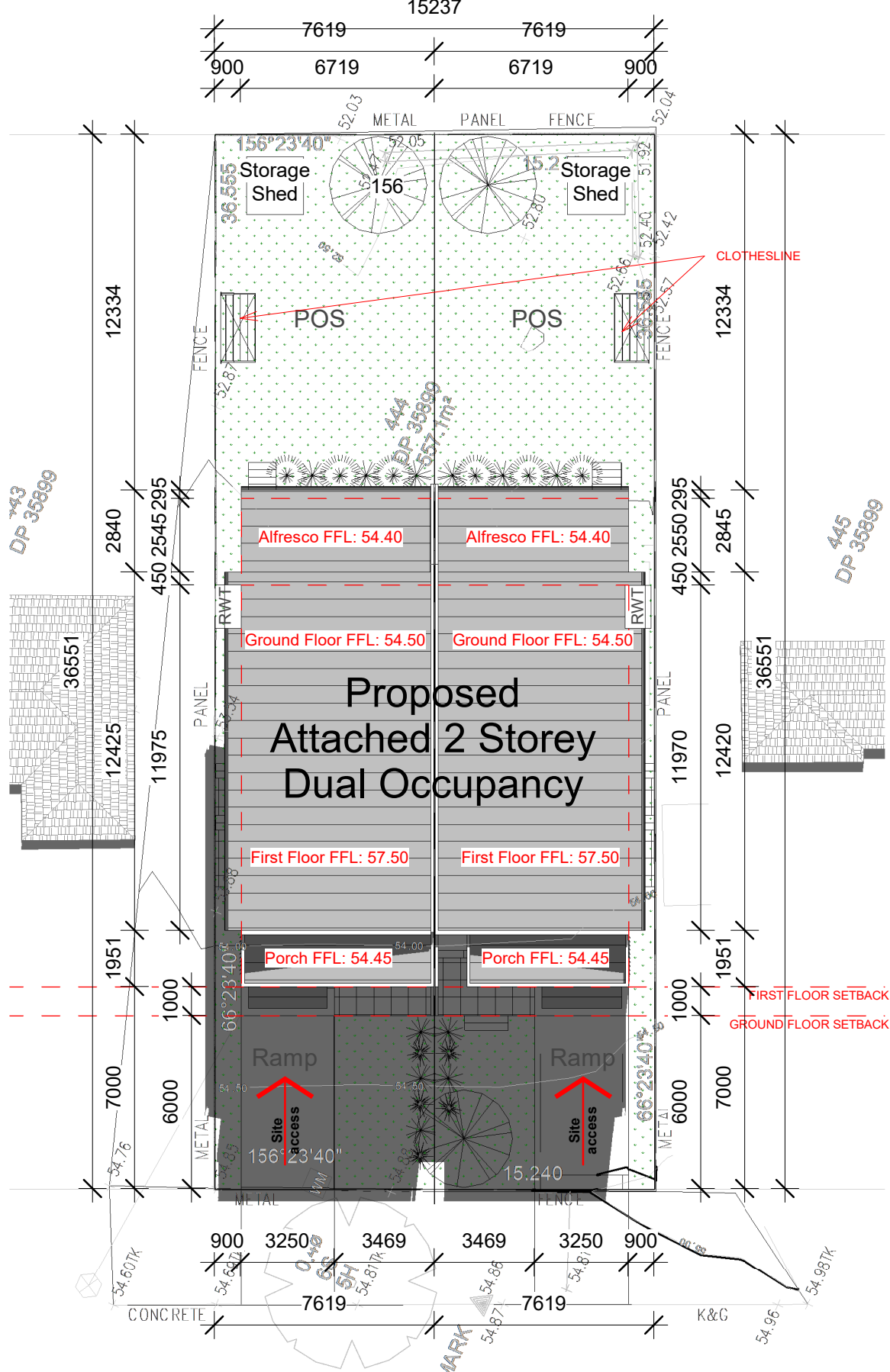
| Thermal Performance and Materials commitments  |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Ceiling fans   |                  |                              |                 |
| The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.  | ✓                | ✓                            | ✓               |
| The applicant must install at least one ceiling fan in each bedroom.   | ✓                | ✓                            | ✓               |
| * The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code. | ✓                | ✓                            | ✓               |

| Energy Commitments   |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Hot water  |                  |                              |                 |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating, gas instantaneous with a performance of 5 stars.            | ✓                | ✓                            | ✓               |
| Cooling system   |                  |                              |                 |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER 3.5 - 4.0 |                  | ✓                            | ✓               |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER 3.5 - 4.0     |                  | ✓                            | ✓               |
| Heating system   |                  |                              |                 |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER 3.5 - 4.0 |                  | ✓                            | ✓               |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER 3.5 - 4.0     |                  | ✓                            | ✓               |
| Ventilation  |                  |                              |                 |
| The applicant must install the following exhaust systems in the development:   |                  |                              |                 |
| At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a   |                  | ✓                            | ✓               |
| Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a   |                  | ✓                            | ✓               |
| Laundry: natural ventilation only, or no laundry; Operation control: n/a   |                  | ✓                            | ✓               |
| Artificial lighting  |                  |                              |                 |
| The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.                           |                  | ✓                            | ✓               |
| Natural lighting   |                  |                              |                 |
| The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.  | ✓                | ✓                            | ✓               |

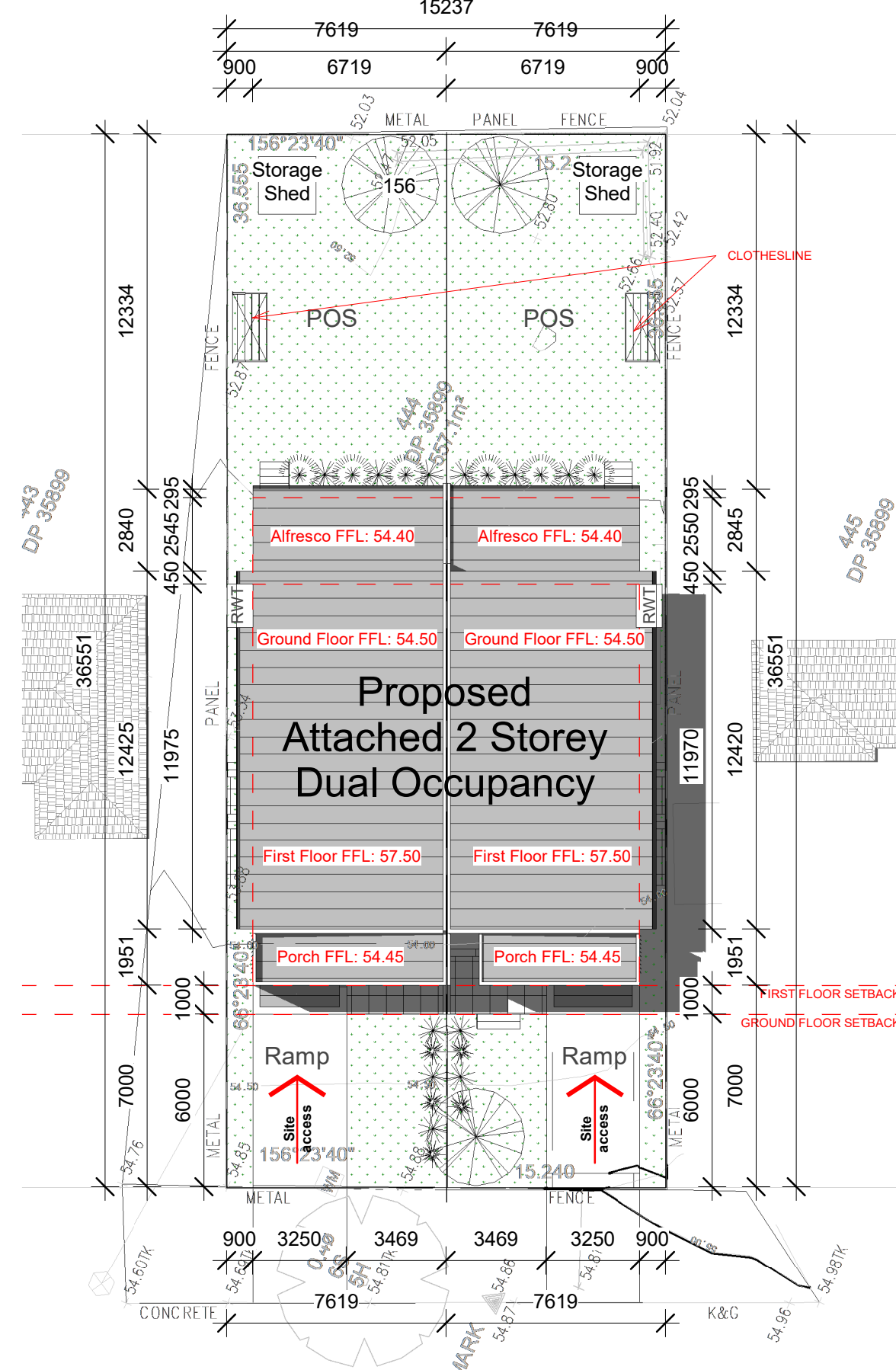
| Water Commitments  |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| * at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) |                  | ✓                            | ✓               |

| Thermal Performance and Materials commitments   |             |                     |                    | Show on DA plans   | Show on CC/CDC plans & specs                                  | Certifier check  |
|---|-------------|---------------------|--------------------|--|---|------------------|
| Glazed windows, doors and skylights   |             |                     |                    |  |   |                  |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.  |             |                     |                    | ✓  | ✓   | ✓                |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.   |             |                     |                    | ✓  | ✓   | ✓                |
| The following requirements must also be satisfied in relation to each window and glazed door:   |             |                     |                    |  |   |                  |
| • The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.   |             |                     |                    | ✓  | ✓   | ✓                |
| • Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.  |             |                     |                    | ✓  | ✓   | ✓                |
| • Vertical external louvres and blinds must fully shade the glazed window or door beside which they are situated when fully drawn or closed.  |             |                     |                    | ✓  | ✓   | ✓                |
| • Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the "overshadowing" column.   |             |                     |                    | ✓  | ✓   | ✓                |
| The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table). |             |                     |                    | ✓  | ✓   | ✓                |
| Glazed window/door no.  | Orientation | Maximum height (mm) | Maximum width (mm) | Frame and glass specification                              | Shading device (Dimension within 50%)                         | Overshadowing    |
| D29   | N           | 2100.00             | 600.00             | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | verandah 3000 mm, 2500 mm above base of window or glazed door | not overshadowed |
| W24   | N           | 1200.00             | 1500.00            | aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49) | eave 450 mm, 1000 mm above head of window or glazed door      | not overshadowed |

| Energy Commitments   |                  |                              |                 |
|--|------------------|------------------------------|-----------------|
|  | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| Other  |                  |                              |                 |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.   |                  | ✓                            |                 |
| The applicant must install a fixed outdoor clothes drying line as part of the development. |                  | ✓                            |                 |



Shadow Plan @8am Equinox - March 21

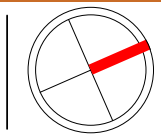


Shadow Plan @12pm Equinox - March 21

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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Shadow Plans  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



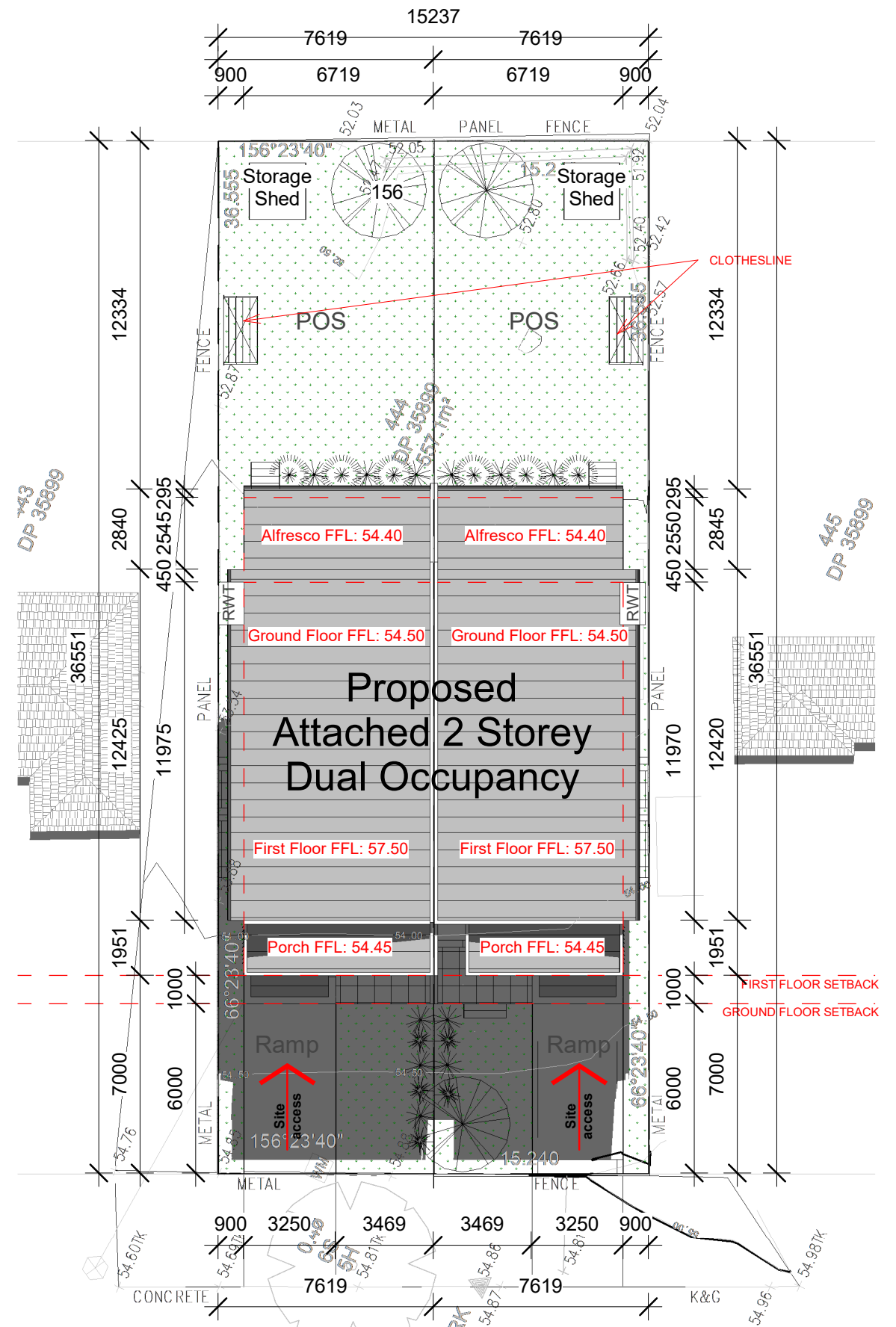
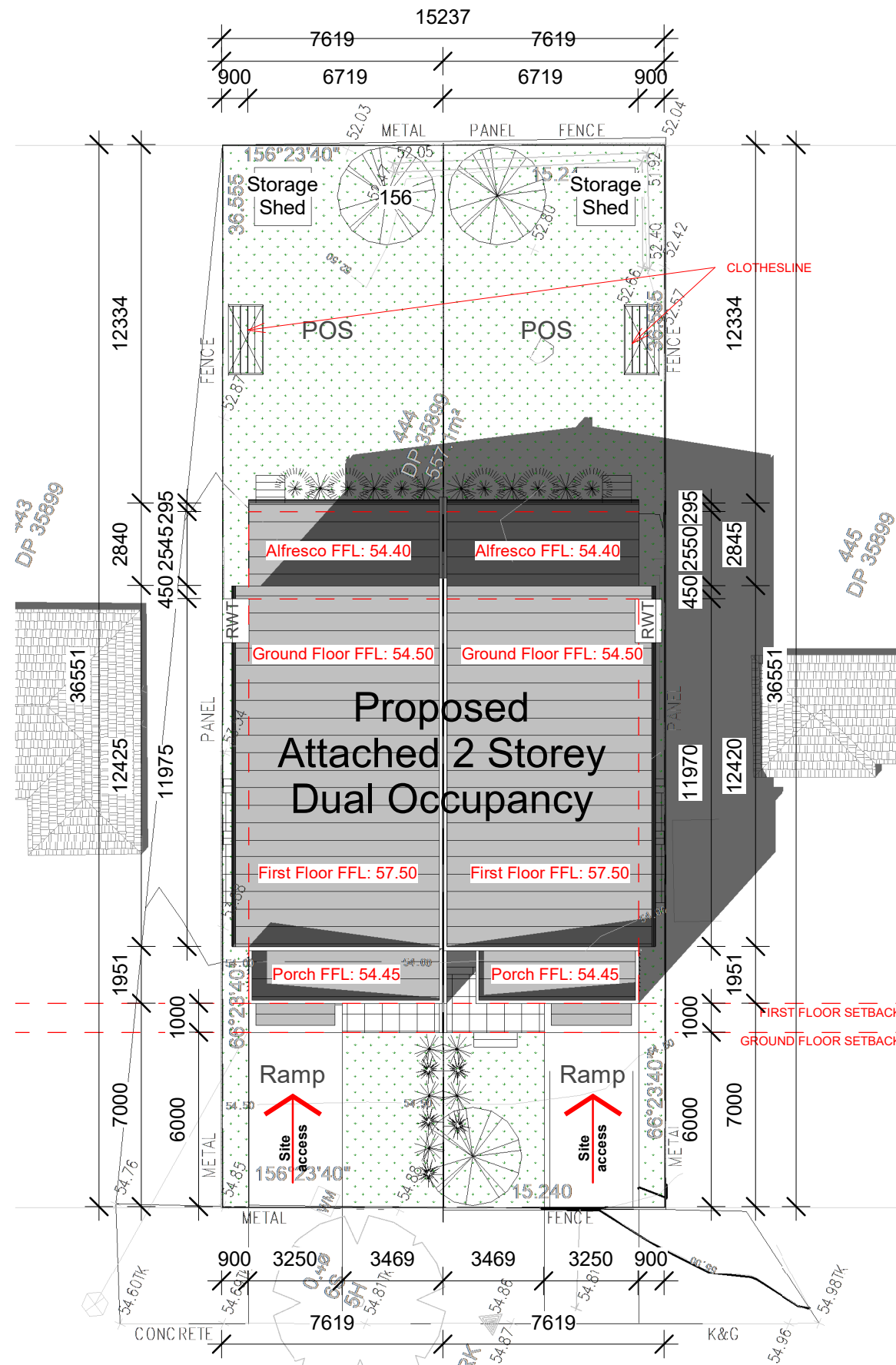
**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A122  
**COUNCIL AREA:** **SCALE:** 1 : 200

**MAHN** **bd**  
**DESIGN** **ACCREDITED**  
BUILDING DESIGNER

Suite 4/259 Northumberland St, Liverpool NSW 2170, Australia  
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PROJECT NO: 0001





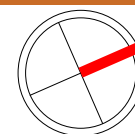
1 Shadow Plan @4pm Equinox - March 21  
1 : 200

2 Shadow Plan @8am Equinox - September 23  
1 : 200

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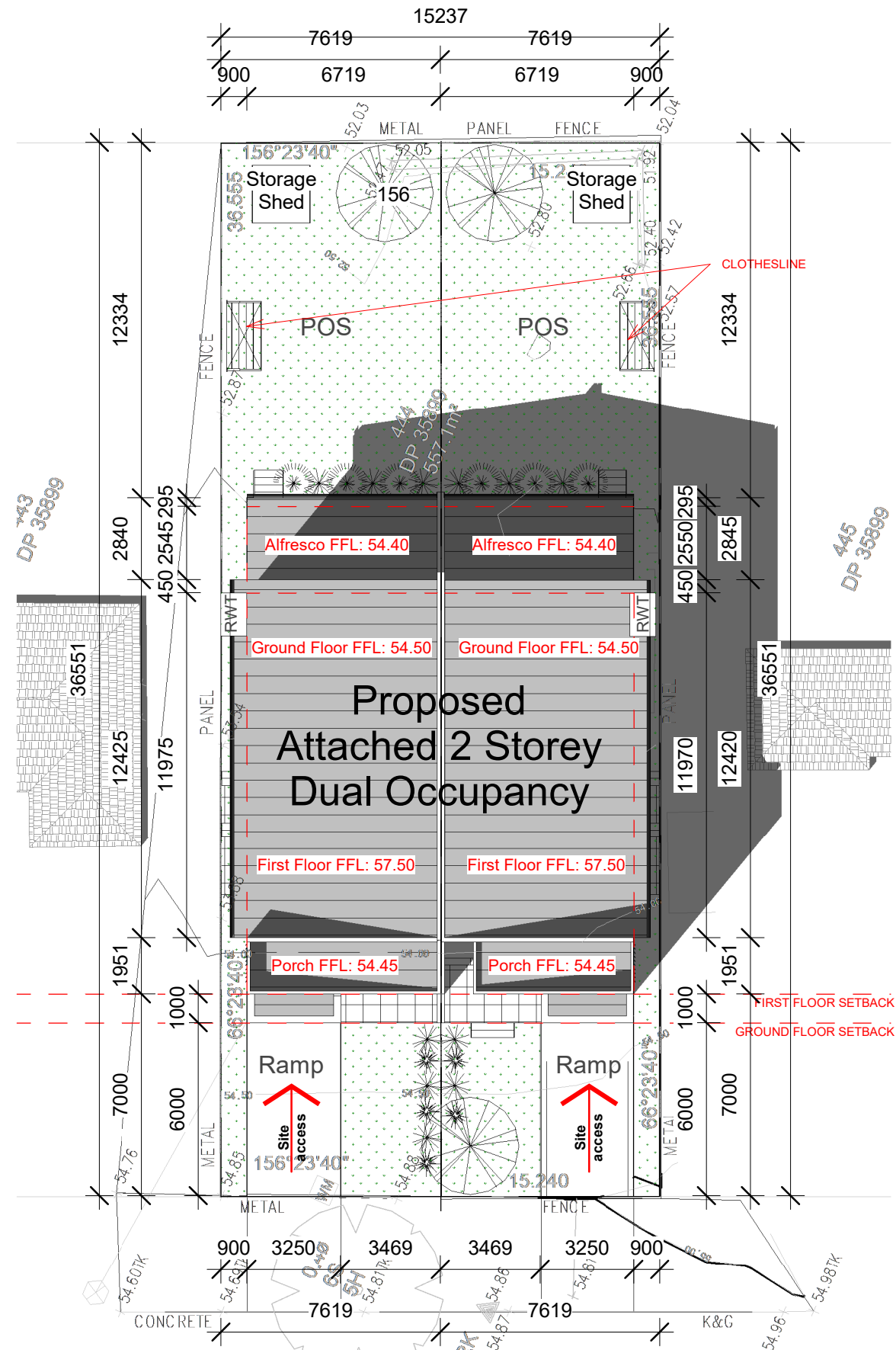
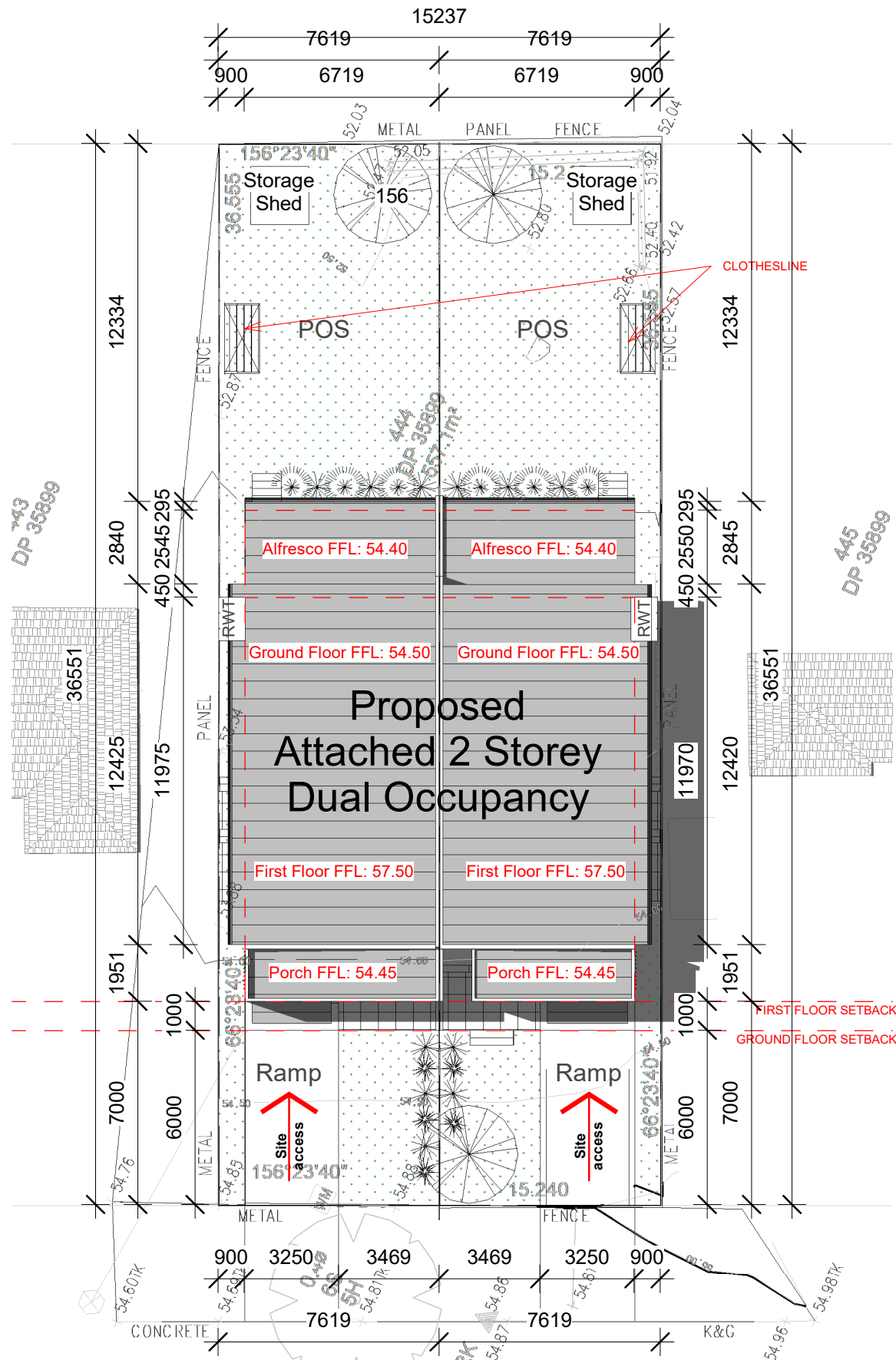
| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Shadow Plans  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A123  
**COUNCIL AREA:** **SCALE:** 1 : 200

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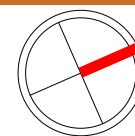
1 Shadow Plan @12pm Equinox - September 23  
1 : 200

2 Shadow Plan @4pm Equinox - September 23  
1 : 200

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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

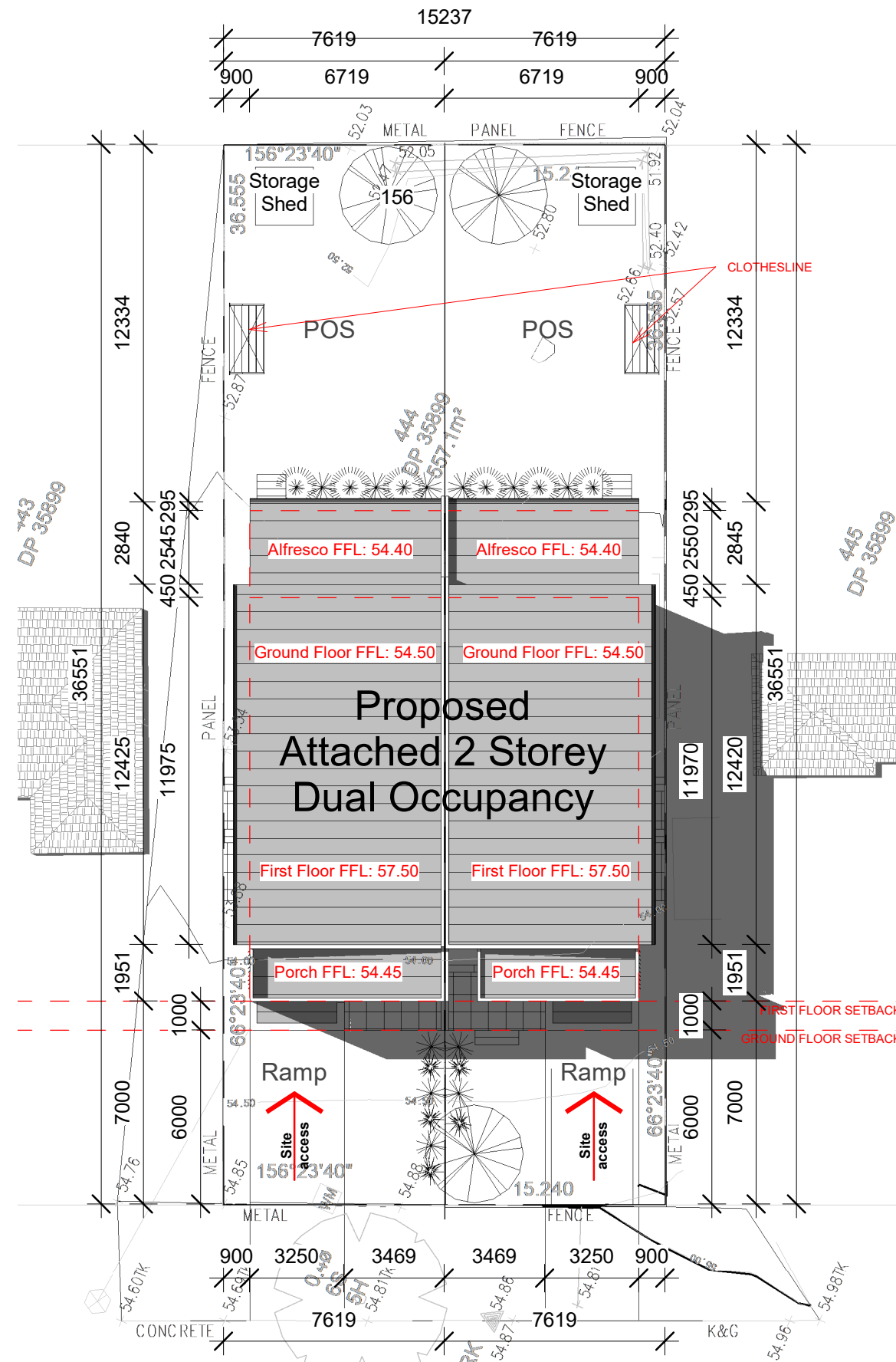
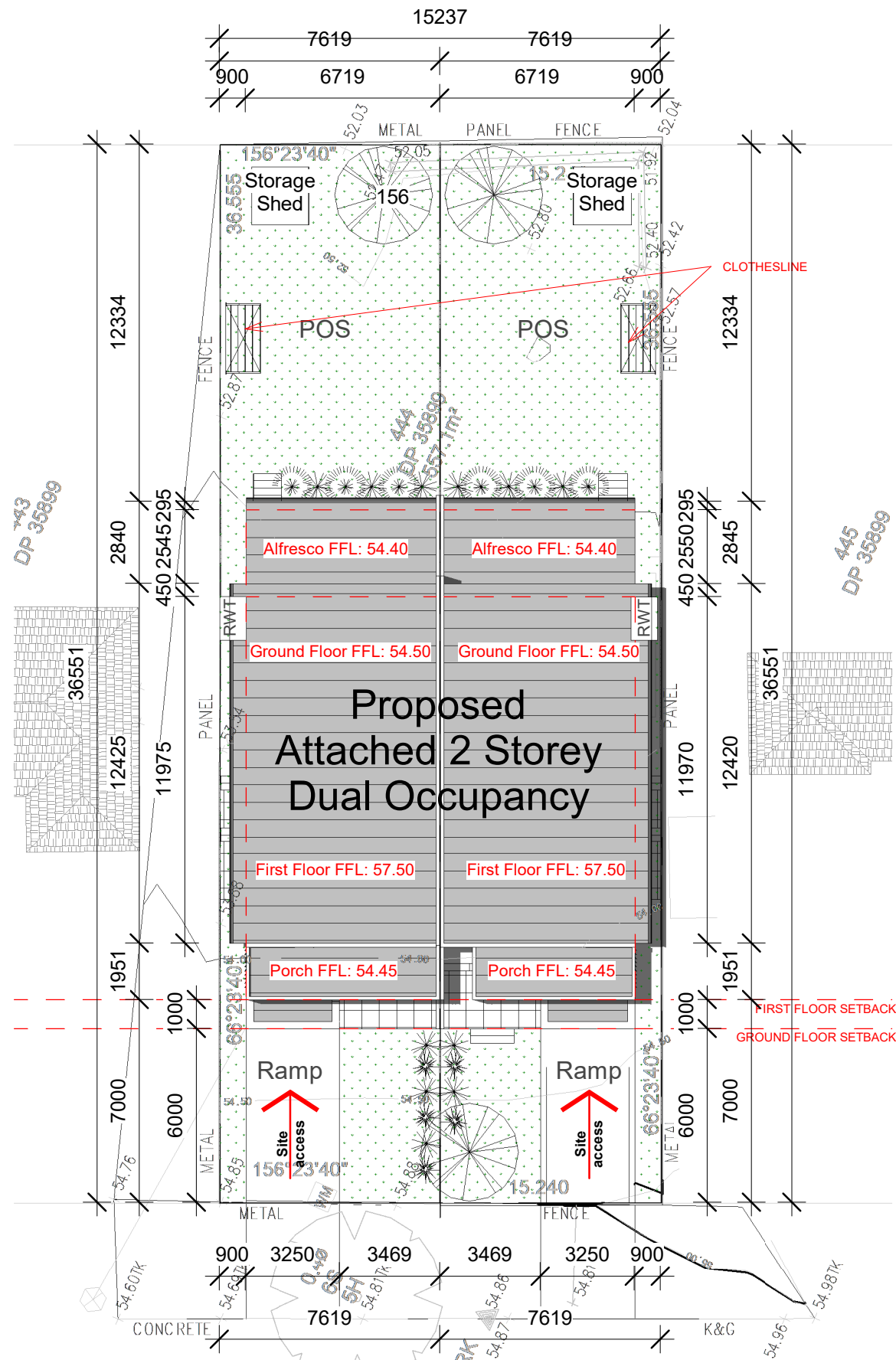
**DRAWING TITLE:** Shadow Plans  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A124  
**COUNCIL AREA:** **SCALE:** 1 : 200

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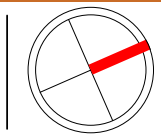
1 Shadow Plan @ Summer Solstice  
1 : 200

2 Shadow Plan @ Winter Solstice  
1 : 200

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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Shadow Plans  
**DRAWN BY:** Author  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A125  
**COUNCIL AREA :** **SCALE:** 1 : 200

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PLOT DATE: 06/11/2023 3:13:02 pm

1

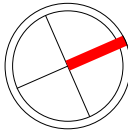
# TREUER Notification Site Plan

1 : 200

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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

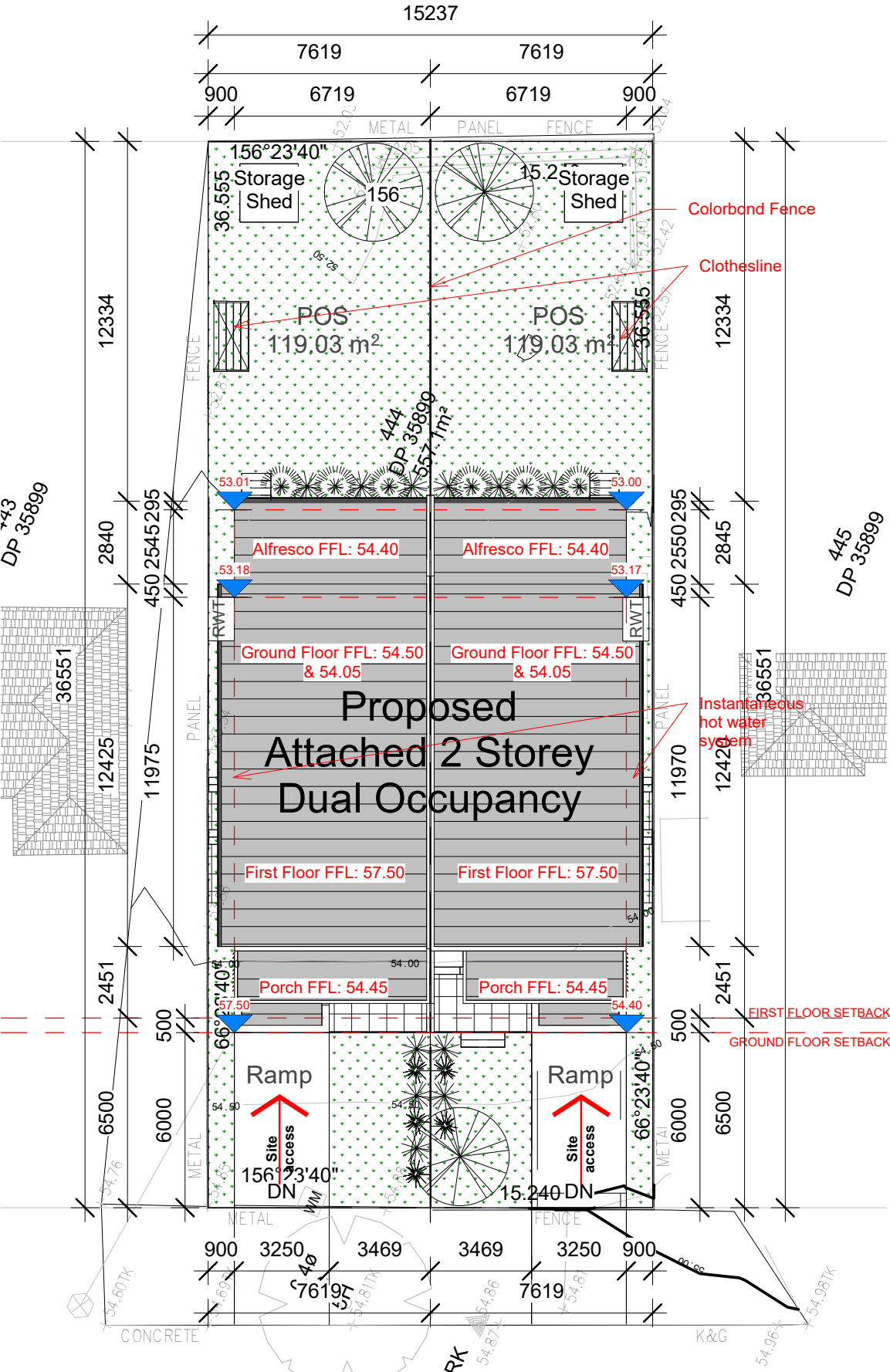
**DRAWING TITLE:** Notification Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899



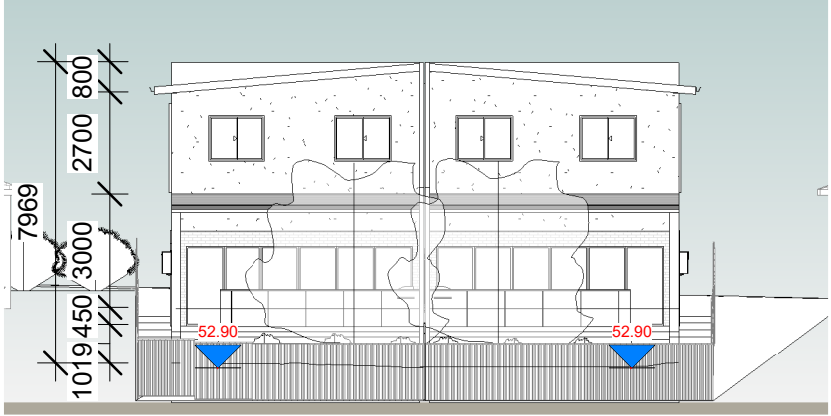
**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A126  
**COUNCIL AREA :** **SCALE:** 1 : 200

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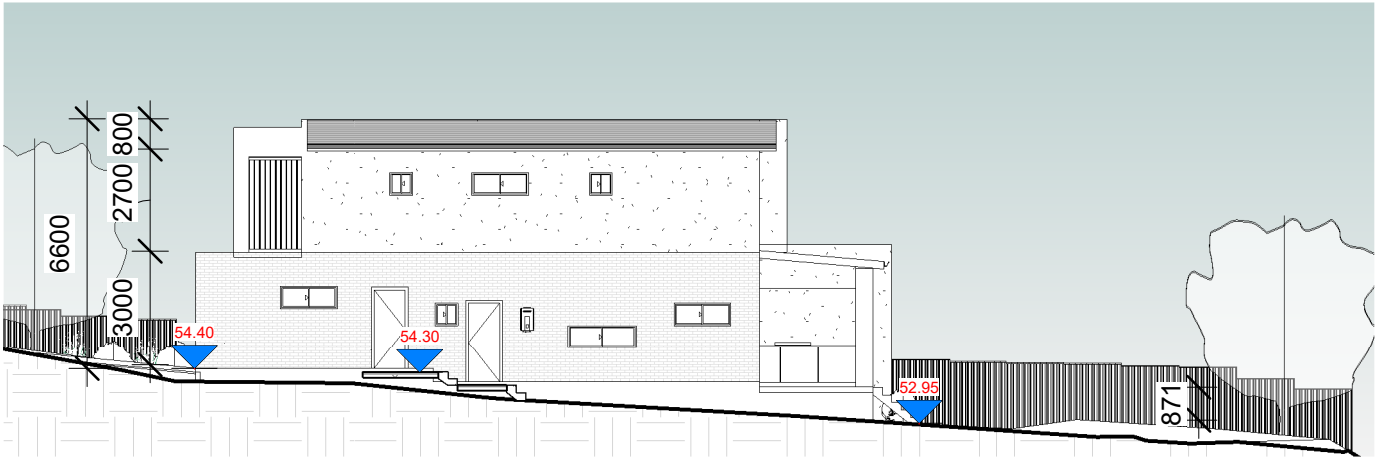
PROJECT NO: 0001



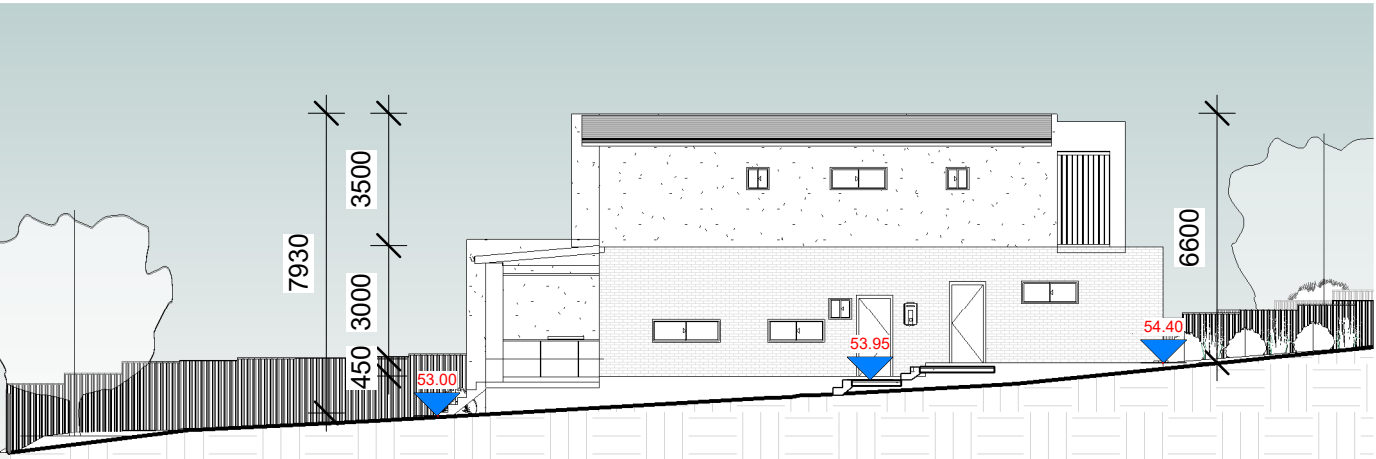
South Elevation



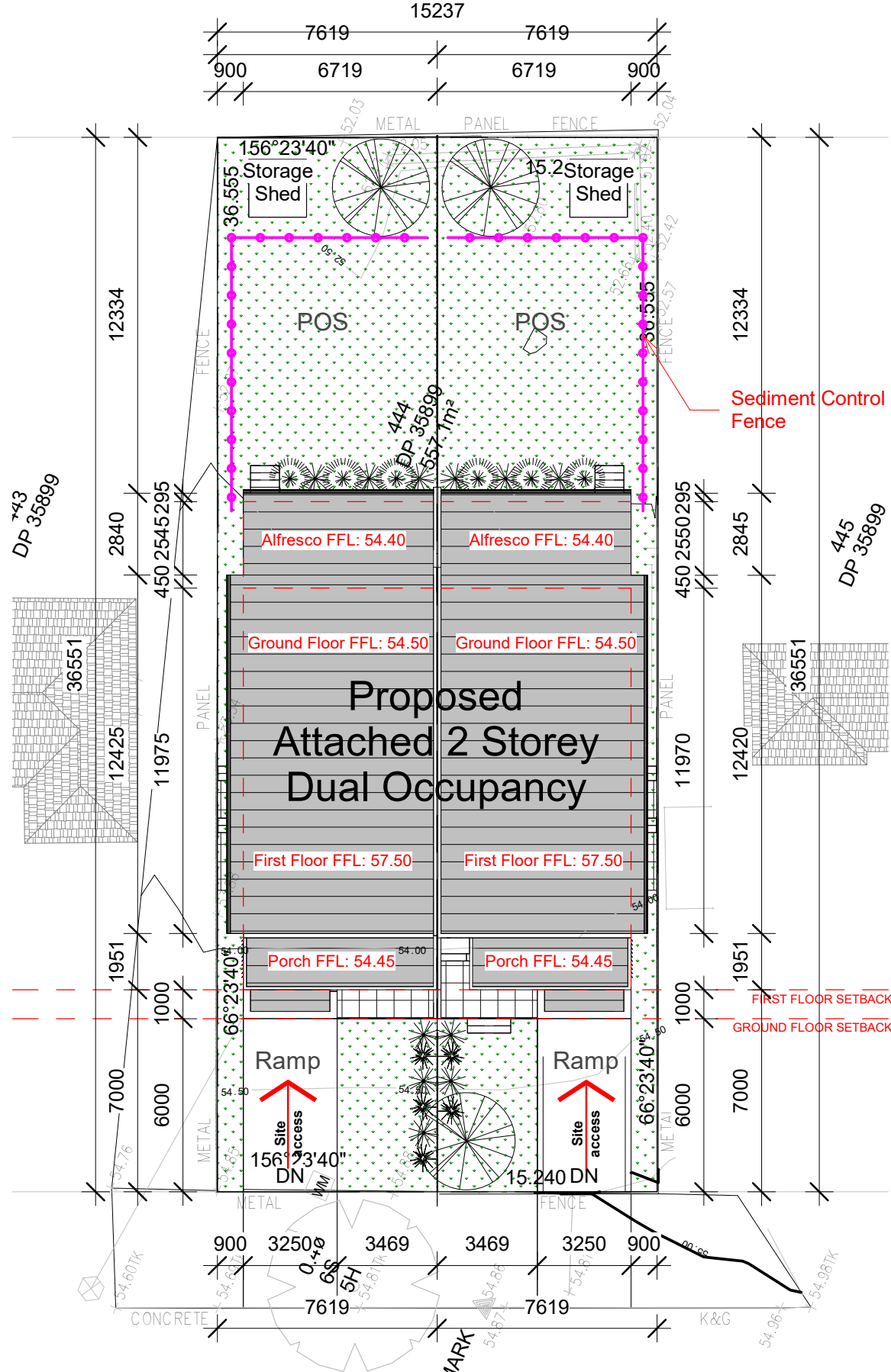
North Elevation



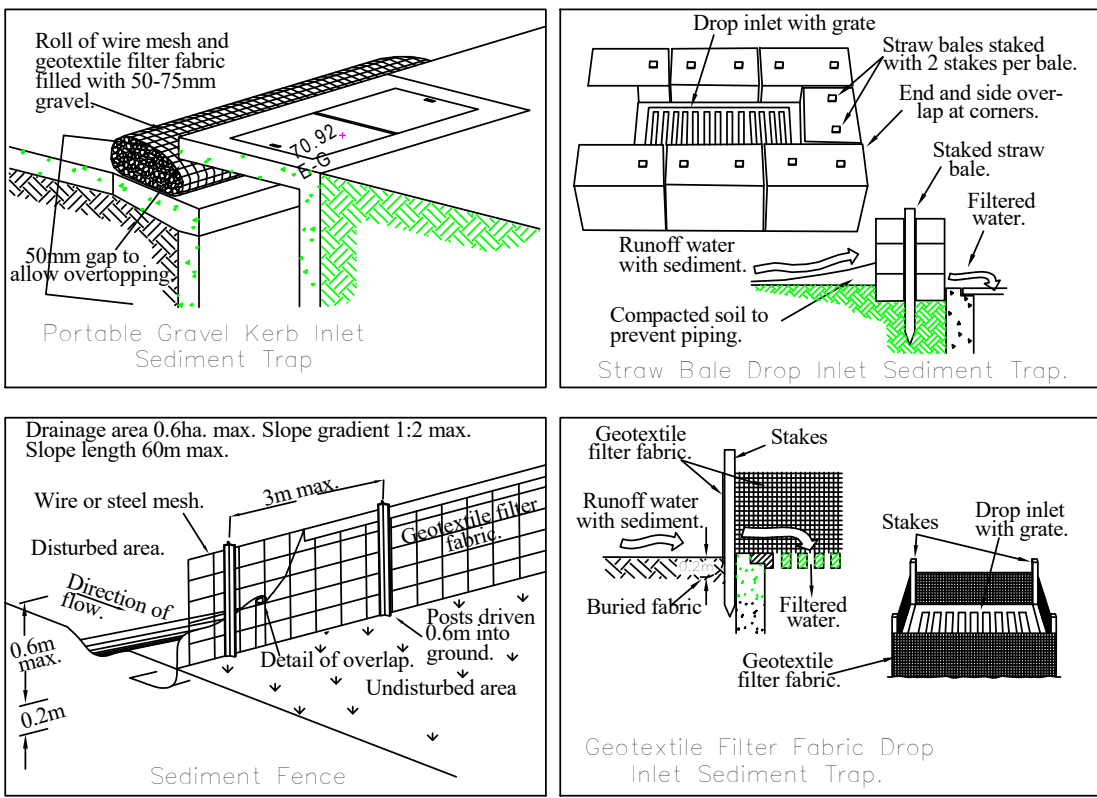
Unit 2 - East Elevation



Unit 2 - West Elevation



- EROSION NOTES:**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
  2. MINIMISE DISTURBED AREAS
  3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
  4. DRAINAGE TO BE CONNECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
  5. ROADS AND FOOTPATH TO BE SWEEPED DAILY.
  6. NO MATERIAL TO BE STORED ON FOOTPATH.
  7. SILT FENCE TO BE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. IT IS TO BE KEPT IN GOOD WORKING ORDER AT ALL TIMES. WHEN APPROXIMATELY 30% FULL OR AS DIRECTED BY COUNCIL'S REPRESENTATIVE, THE SILT FENCES ARE TO BE CLEARED OF SILT AND ORO THER BUILT UP MATERIALS.



# TREUER PARADE Erosion and Sediment Control Plan

1 : 200

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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

**DRAWING TITLE:** Erosion and Sediment Control Plan  
**DRAWN BY:** E.T.  
**CHECKED BY:** S.D.  
**LOT:** 444 | **SEC:** | **DP:** 35899

**SITE ADDRESS:** 18 Treuer Parade, Yagoona NSW 2199  
**CLIENT:** Ahmad AbdulWahed  
**PROJECT TYPE:** Demolition of all existing improvements and construction of an Attached Dual Occupancy  
**DATE:** Issue Date **REV:** A **SHEET NO:** A127  
**COUNCIL AREA:** **SCALE:** As indicated

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PROJECT NO: 0001

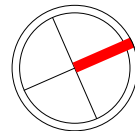


PLOT DATE: 06/11/2023 3:13:04 pm

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| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

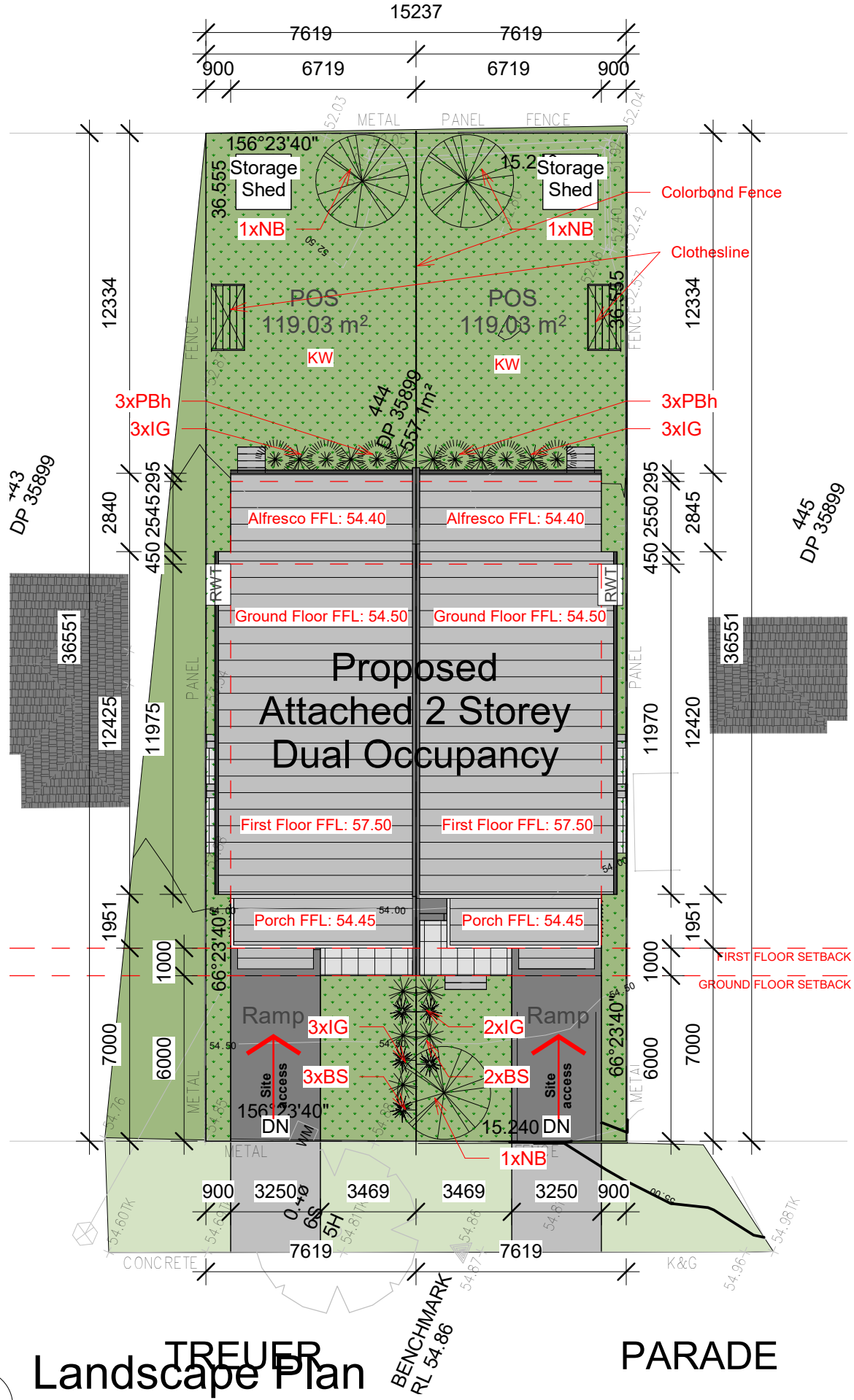
DRAWING TITLE: Landscape Plan  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899



SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: L-01  
COUNCIL AREA : SCALE: 1 : 200

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BUILDING DESIGNER  
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PROJECT NO: 0001



| Planting Schedule |      |                        |                     |      |          |               |       |
|-------------------|------|------------------------|---------------------|------|----------|---------------|-------|
| Model             | Code | Botanical Name         | Common Name         | Qty. | Pot Size | Mature Height | Stake |
| Unit 1            |      |                        |                     |      |          |               |       |
| Tree              | NB   | Bursaria spinosa       | Native Blackthorn   | 1    | 75L      | 10m           | Yes   |
| Groundcover       | KW   | Dichondra repens       | Kidney Weed         | 1    | -        | -             | -     |
| Shrub             | BS   | Einadia hastata        | Berry Saltbush      | 3    | 50mm     | 50cm          | No    |
| Shrub             | IG   | Goodenia hederacea     | Ivy Goodenia        | 6    | 50mm     | 80cm          | No    |
| Shrub             | PBh  | Leucopogon juniperinus | Prickly Beard-heath | 3    | 140mm    | 50cm          |       |
| Unit 2            |      |                        |                     |      |          |               |       |
| Tree              | NB   | Bursaria spinosa       | Native Blackthorn   | 2    | 75L      |               | Yes   |
| Groundcover       | KW   | Dichondra repens       | Kidney Weed         | 1    | -        | -             | -     |
| Shrub             | BS   | Einadia hastata        | Berry Saltbush      | 2    | 50mm     |               | No    |
| Shrub             | IG   | Goodenia hederacea     | Ivy Goodenia        | 5    | 50mm     | 80cm          | No    |
| Shrub             | PBh  | Leucopogon juniperinus | Prickly Beard-heath | 3    | 140mm    | 50cm          |       |



*Bursaria spinosa*  
Native Blackthorn



*Leucopogon juniperinus*  
Prickly Beard-heath



*Goodenia hederacea*  
Ivy Goodenia



*Dichondra repens*  
Kidney Weed



*Einadia hastata*  
Berry Saltbush



SPECIFICATION NOTES:

1.0 SERVICES

Excavation  
Do not excavate by machine within 1m of existing underground services

2.0 Planting Mix:

Natural ground soil mix shall consist of  
3 parts by volume existing top soil  
1 part by volume washed river sand  
1 part by volume friable organic matter ( mushroom compost or equivalent) as available from reputable garden suppliers.

Turf underlay shall be a mix of 40% double washed river sand 20% composted Greenwaste, 20% nitro humus, 20% soil equivalent to Greenlife Lawn Top Dressing & turf Underlay as produced by Australian Native Landscapes or approved equivalent. Spread 100mm of Turf Underlay as specified and finish flush with adjacent finished surface levels.

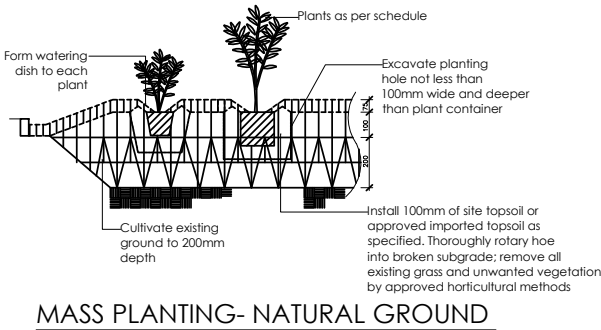
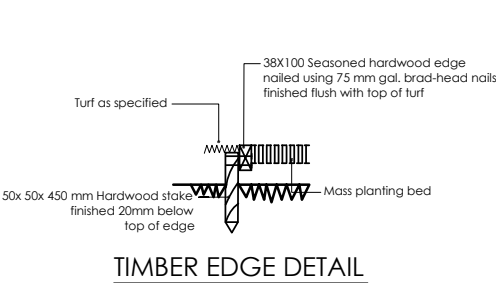
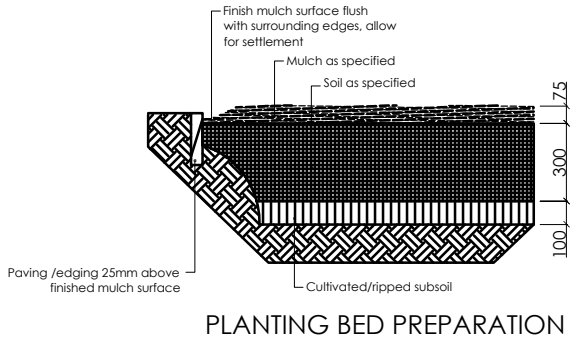
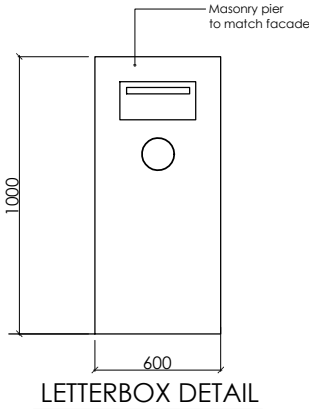
Provide (1kg) sample of imported topsoil mixes, if required for approval. No imported Topsoil shall be delivered to site prior to approval of sample provided.

3.0 TOPDRESSING

Topdress material shall be specified as AS4419-1999. Topdress material shall be clean washed river sand , free from any clay lumps, clods, weeds, tree roots, sticks, organic matter, rubbish and material toxic to plant growth and the like and shall have a neutral pH and minimal salt content (measured oven dry of 0.1%)

APPLICATION: Place mulch to the required depth(refer to detail drawing), clear of plant stems and rake to an even surface finishing 25mm below adjoining levels.  
Mulch type: Mulch to garden bed Mulch shall mean Hort-Bark/Eucalyptus mulch/leaf mulch(15 mm grade), free from any noxious weed.

Spread mulch so that after settling it is:  
smooth and evenly graded between designed surface levels  
-flush with adjacent finished levels  
-of the required depths ( 75mm)  
-sloped towards the base of the plant stems in planting beds but not in contact with the stem (no closer than 50mm in case of gravel mulch)  
Place after the preparation of planting bed , planting and all other work.



4.0 PLANTING

Do not plant in unsuitable weather conditions such as extreme heat or cold, wind or rain. Before planting begins complete cultivation, soil placement, fertilization etc as previously specified. Before plants are installed, all pot plants shall have their roots pruned with an appropriate , clean, sharp instrument to eliminate any root competition occurring at edge of pot zone.

Before planting begins, water the plant thoroughly and also the planting area.Keep the area and the plants moist during planting. Water the plants immediately after planting and thereafter as required to maintain growth free of stress rates. The contractor shall give notice of not less than 24 hours , for inspection as nominated in inspect and hold point schedule.

5.0 PLANTS SUPPLY

The landscape contractor is responsible for organising the delivery of plant stock to the site and verifying that the plant stock possess the following characteristics prior to accepting delivery on site: ☐ Large healthy root system with no evidence of root curl , restriction or damage

- ☐ Vigorous, well established, free from pest and disease, of good form consistent with species or variety
- ☐ Hardened off, not soft or forced and suitable for planting in the natural climatic conditions prevailing at the site.
- ☐ Trees must unless required to be multi-stemmed, have a single leading shoot.
- ☐ Any plants or trees that are accepted by t he landscape contractor that do not meet the specification, will be replaced bat the contractor's expense.

Replacement:  
Replace damaged or failed plants of the same type and size.

6.0 STAKING AND TYING

Stakes are to be straight hardwood, free from kmnots and twists, pointed at one end sized according to size of plants to be staked.  
a. 5-15 litre size plant  
b. 35-75 litre size plant  
c. 10-greater than 200 litre 3x(1800x50x50mm) Ties shall be 50mm wide hessian webbing or approved equivalent nailed or stapled to stake. Drive stakes a minimum one-third of their length, avoiding damage to the root system, on the windward side of the plant.

7.0 FERTILIZER MASS PLANTING AREAS:  
Fertilizer shall be 'Nutricote' or approved equivalent in granular form intended for slow release. Thoroughly mix fertilizer with planting mixture at the recommended rate, prior to installing plants.  
TURF:  
Palmetto Buffalo: Ozbreed Lawn Starter Slow Release fertilizer or equivalent

| REV | DATE     | DESCRIPTION                        | INITIAL |
|-----|----------|------------------------------------|---------|
| A   | 06.11.23 | Issued for Development Application | E.T.    |

DRAWING TITLE: Landscape Notes  
DRAWN BY: E.T.  
CHECKED BY: S.D.  
LOT: 444 | SEC: | DP:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199  
CLIENT: Ahmad AbdulWahed  
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy  
DATE: Issue Date REV: A SHEET NO: L-02  
COUNCIL AREA : SCALE: 1 : 100

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PROJECT NO: 0001

TREES :

Nutricote Standard Brown 360 Day blend (16:4, 4:8:3)  
Distribute 5 kg/litre (rootball size)fertilizer into backfill around rootball.Apply in three evenly spread layers as hole is filled. First layer is to be halfway up the rootball, 2nd layer 3 This application ensures that the nutrients leach evenly downwards into the soil profile and encourage outward root system growth.

SOIL CONSERVATION NOTE:

Prior to commencement of construction, provide sediment fence, sediment trap and washout area to ensure the capture of waterborne material generated from the site. Maintain the above during the course of construction and clear the sediment trap after each storm.

ROOT PRUNING OF TREES

Remove tree from container and root prune 200mm on sides and bottom to ensure all circling roots have been either severed or aligned radially into the surrounding soil. Plant as per detail.

MAINTENANCE PROGRAMME:

Consolidation & landscape maintenance shall mean the care and maintenance of the contracted landscape works using acceptable horticultural practices,ensuring that all plants and planting areas are enabled optimum growing conditions and are in excellent appearance at all times, as well as the rectification of defects that result from regular use.This shall include, but not limited to, watering,mowing, fertilizing, re-seeding, re-turfing, weeding, pest and disease control, staking and tying, re-planting, cultivation,pruning, aerating,topdressing, maintaining the site in a neat and tidy condition as follows:

1.0 GENERAL

The landscape maintenance period shall be for the term of maintenance (or plant establishment) period to the satisfaction of the council.The maintenance period shall commence at practical completion and continue for a period of 52 weeks or as required by council or requested by owner.

2.0 WATERING

Grass, trees and garden areas shall be watered regularly so as to ensure a continuous healthy growth

3.0 RUBBISH REMOVAL

During the term of maintenance period rubbish that may occur and reoccur is to be removed. This work shall be carried out regularly so that at weekly interval, the area may be observed to be in a clean and tidy condition.

4.0 REPLACEMENTS

The landscape contractor shall replace all the plants that are missing, unhealthy or dead at the landscape contractor's cost.Replacement shall be of the same size, quality and species as the failed plant, unless otherwise directed by the landscape consultant.Replacements shall be made on a continuing basis not exceeding two weeks after the plant has died or is seen to be missing.

5.0 STAKES AND TIES

The landscape contractor shall replace or adjust plant stakes and tree guards as necessary or as directed by the landscape consultant. Remove stakes and ties at the end of the maintenance period if so directed.

6.0 PRUNING

Trees and shrubs shall be pruned as directed by landscape consultant. Pruning will be directed at the maintenance of the dense foliage or miscellaneous pruning and beneficial to the condition of the plants. Any damaged growth shall be pruned back. All pruned material to be removed from the site.

7.0 MULCHED SURFACE

All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times.

8.0 PEST AND DISEASE CONTROL

The landscape contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pest and disease immediately on detection to the landscape consultant.

10.0 WEED ERADICATION

Eradicate weeds by environmentally acceptable methods using a non-residual herbicide in any of its registered formulae, at the recommended maximum rate. Remove weed growth from an area 750mm diameter around the base of trees in grassed areas. Continue eradication throughout the course of the works and during the maintenance period.

9.0 GRASS AND TURF AREAS

The owner shall maintain all grass and turf areas by watering, weeding, re-seeding, rolling, mowing, trimming or other operations as necessary. Seed and turf species shall be the same as the original specified one.Grass and turf areas shall be sprayed with approved selective herbicide ag broad leaved weeds as required and in accordance with the manufacturer's directions.Grass and turfed areas shall be fertilised once a year in autumn with appropriate fertiliser and watered immediately after application. Turfed areas to be kept mown to maintain a heal;thy and vigorous state : mowing height 30-50mm

11.0 SOIL SUBSIDENCE

Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the landscape contractor at no cost to the designer 12.0 OTHER Maintaining all hard & semi permeable areas including toping/raking gravel& decomposed granite areas (as applicable),cleaning/weeding paving etc.

NOTES

1. The landscape drawing is to be read in conjunction with the architectural/,hydraulic/ service plans and survey prepared for the proposed development.
2. Do not scale off drawings. Refer to dimensions on plan.
3. All services to be checked and verified on site.
4. All existing trees to be retained and protected as specified unless shown otherwise.
5. Topsoil mixture, as specified, is to be thoroughly mixed prior to placement. Imported top soil to be compatible with existing top soil and in accordance with specification.
6. Prior to landscape works, remove all builders' debris, cultivate garden bed and turf areas to required levels and incorporate compost as specified. The area within drip zone of existing trees to be retained are to be hand dug.
7. Ensure all garden beds and tree planting have adequate drainage to prevent water logging during periods of high rainfall. 8. Rain water to be used on site. All plants chosen are low water use in keeping with WSUD principles. 9.
10. Council's recommended plant list has been used as a resource for plant selection.
11. Council crossover and layback to meet council specification.
12. Turf on council verge to be made good after construction.
13. All street trees on council verge to be retained and protected during construction.
14. Where retaining walls align with boundary fence, the total height shall not exceed 1.8M above ground level.
15. Retaining walls and concrete driveways to engineer's details.

PLOT DATE: 06/11/2023 3:13:04 pm