Development Application: Demolition of all existing improvements and construction of an Attached Dual Occupancy 18 Treuer Parade, Yagoona, NSW 2199



	Sheet List	
Sheet Number	Sheet Name	Current Revision
A101	Cover Page	Α
A102	Overview Perspective	Α
A103	Overview Perspective	Α
A104	Internal Perspective	А
A105	Internal Perspective	А
A106	Architectural Specification	А
A107	Streetscape Elevation	Α
A108	Subdivision Plan	А
A109	Site Plan	А
A110	Analysis Plan	А
A111	Ground Floor Plan	А
A112	First Floor Plan	Α
A113	Roof Plan	A

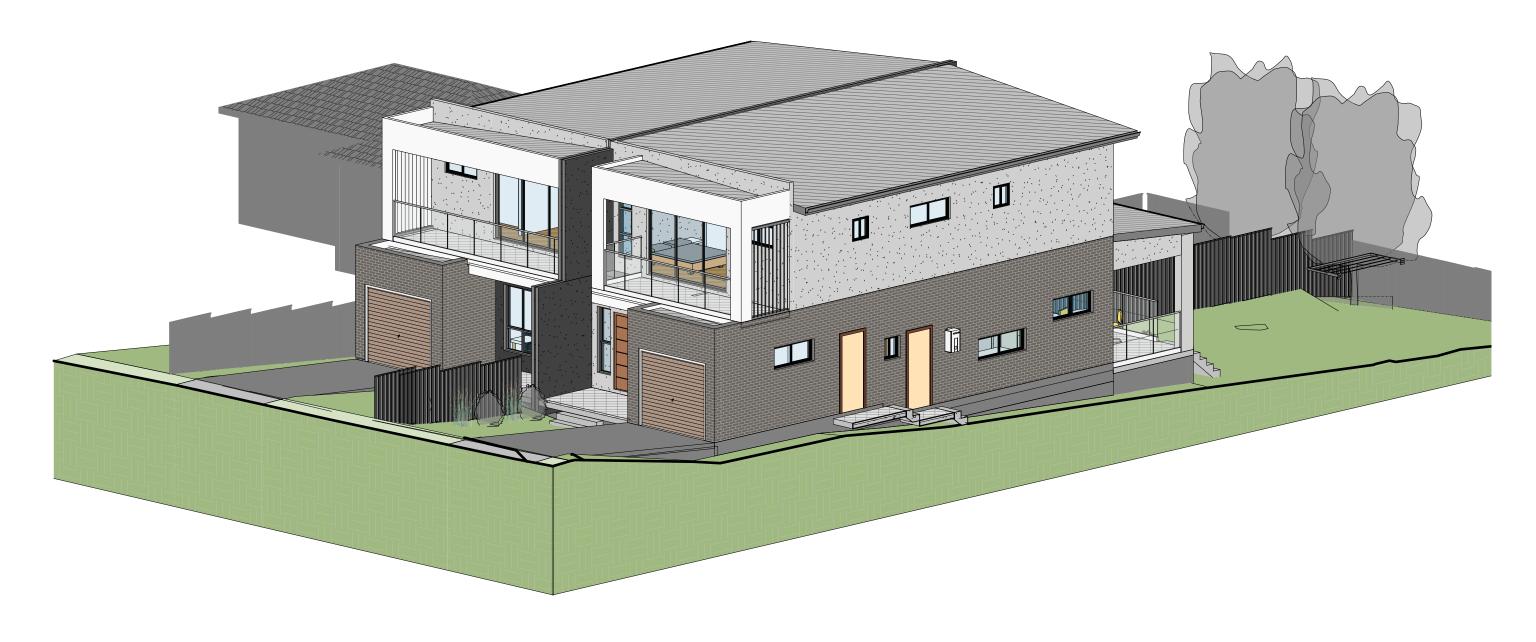
	Sheet List			
Sheet Number	Sheet Name	Current Revision		
A114	Demolition Plan	Α		
A115	Elevations	A		
A116	Elevations	A		
A117	Sections	Α		
A118	Doors and Windows Schedule	Α		
A119	Materials and Finishes Schedule	А		
A120	BASIX Certificate	Α		
A121	BASIX Certificate	Α		
A122	Shadow Plans	Α		
A123	Shadow Plans	Α		
A124	Shadow Plans	Α		
A125	Shadow Plans	Α		

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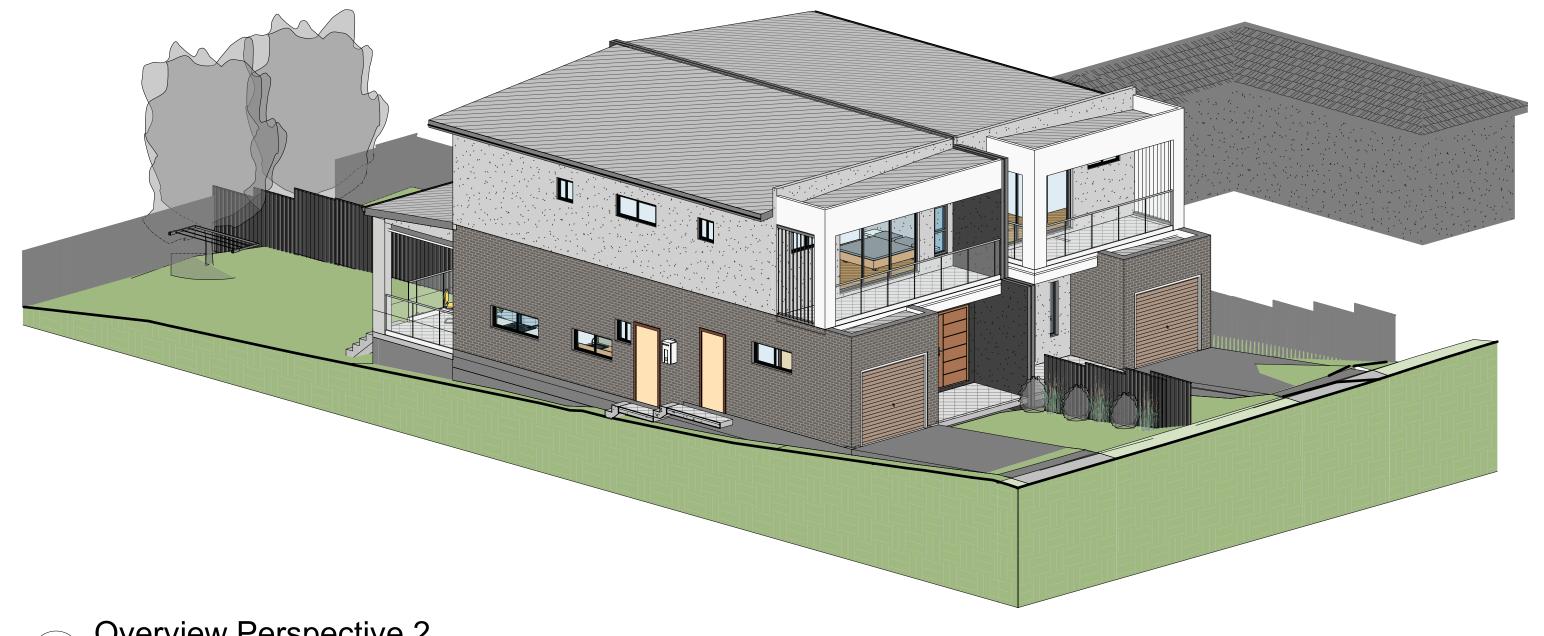
DRAWING TITLE: Overview Perspective
DRAWN BY: E.T.
CHECKED BY: S.D.
LOT: 444 | SEC: | DP:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199
CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A102
COUNCIL AREA: SCALE:







Overview Perspective 2

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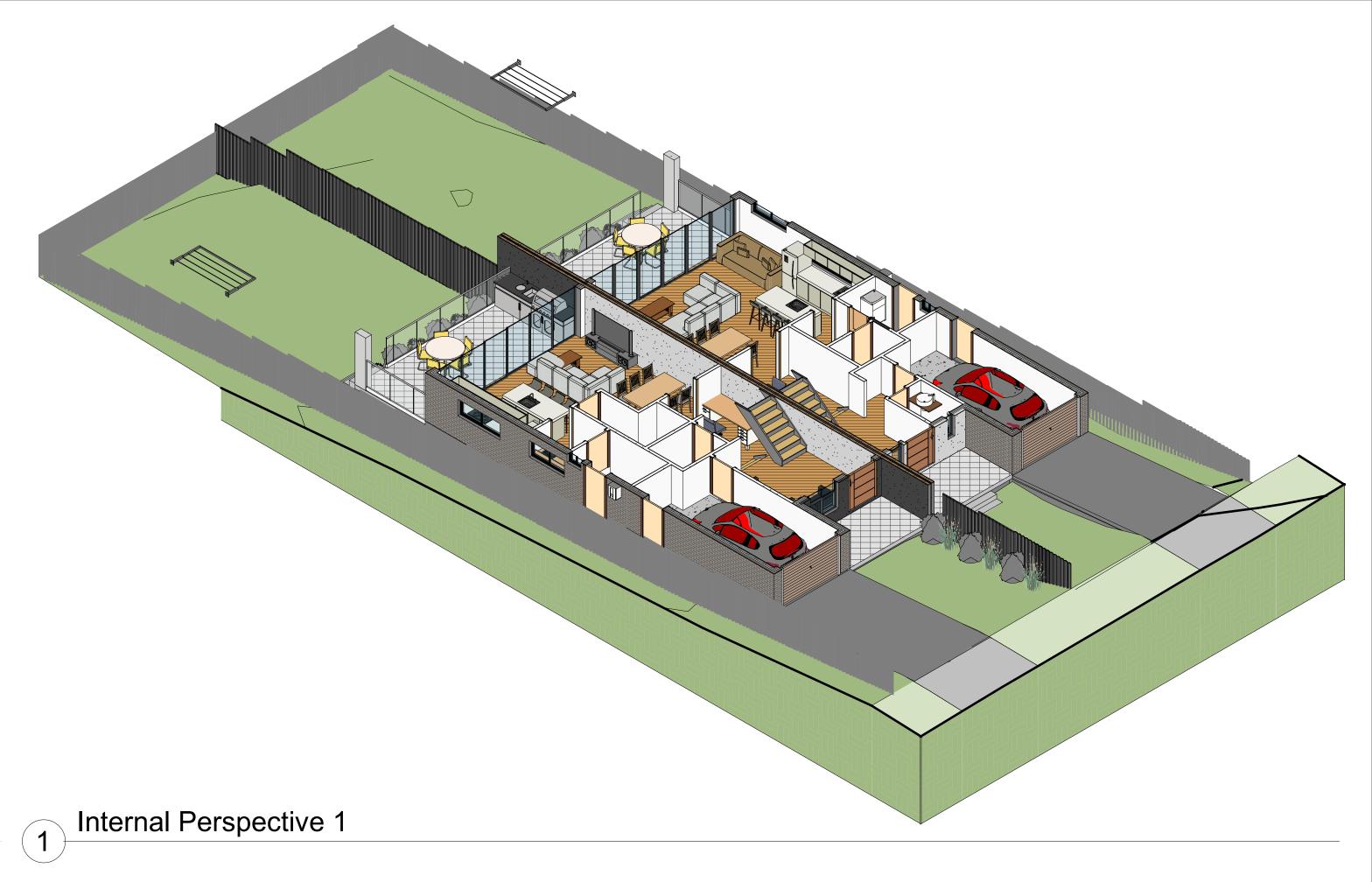
DRAWING TITLE: Overview Perspective DRAWN BY: E.T. CHECKED BY: S.D. LOT: 444 | SEC: **DP**:35899

| SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

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LOT: 444 | SEC: | **DP**:35899 SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

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SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Atlached Dual Occupancy

ARCHITECTURAL SPECIFICATION

BE ADVISED: SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

GENERAL ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK. ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES. ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS. THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT" DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED. SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS. PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS. **EARTHWORKS** UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN. COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENEFROMETER TEST (AS PER AS 1289 F3.3) DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING. ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT. CONCRETE CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm. SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL. THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870. PROVIDE A PROPRIETARY VAPOUR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER. TERMITE PROTECTION PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS. BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES. BRICKWORK BRICK WORK SHALL COMPLY WITH AS 3700 MASONRY CODE AS A123 MASONRY CODE MORTAR FOR MASONRY CONSTRUCTION BRICK GAUGE 7 STANDARD COURSES = 600mm.
ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa AND AS FOLLOWS EXTERNAL FACE WORK: 230x110x76mm EXTERNAL RENDER: 305x162x90mm MAXIBRICK OR **VERTICORE** 2c FACE BRICK SPLAYED SILLS WINDOW SILLS: WINDOW HEADS: SOLID FACEBRICK COURSE 305x162x90mm MAXIBRICK OR VERTICORE WITH INTERNAL WALLS: JOINT AND PERPENDS FILLED 305x76x90mm LONGREACH OR JUMBO FOR COURSE ADJUSTMENT MORTAR: 1:1:6 CEMENT: IME:SAND MORTAR (FACE BRICK) COLOUR TO MATCH EXISTING AS SELECTED TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHING AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHING. PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVÉ SHALL BE CLEAR IN ALL FACEWORK

SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING. PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED. WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH 12 GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COURSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING. BUILD IN ALCOR/PGI FLASHING AS FOLLOWS: 13 WHEREVER SHOWN ON DRAWINGS CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT OVER LINTELS TO EXPOSED OPENINGS:
FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS
CAVITY 50mm INTO INNER LEAF 2c ABOVE. FULL WIDTH OF EXTERNAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE. DOOR / WINDOW STILES: FULL HEIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT FACH FND STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF VERTICAL FLASHING CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS. AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO

INNER LEAVE

14 LINTELS

MAX SPAN (mm)	LINTEL SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75 x 10	150
1200	75 x 75 x 8	150
1500	90 x 90 x 8	150
1800	100 x 75 x 8	230
2100	125 x 75 x 8	230
2400	125 x 75 x 10	230
2500	100 x 100 x 8	230
3000	150 x 90 x 10	230

GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM

CARPENTRY WORK ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP. REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE

METALWORK

DRAWINGS

ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED

ON SITE AS COMPLETE UNIT

CLOTHES HOIST: REFER TO ADDENDUM.

ROOFING

SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES

GUTTER, FASCIA, DOWN PIPES, FLASHING SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING

LOT: 444 | SEC:

DOWN PIPES SHALL MATCH EXISTING.

ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.

ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHING, FLUMES THROUGH ROOF FIX GUTTERS & FLASHING TO PERMIT THERMAL MOVEMENT IN THEIR FULL

SEAL BETWEEN OVERLAPPING FLASHING; FLASHING TURNED DOWN OVER BASE OR APRON FLASHING; FLASHING OVER METAL ROOF; FLASHING OVER

SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC. JOINER)

ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.

EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.

SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

CEILINGS

CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR

FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS

PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.

PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.

10. **PLASTERING**

INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER LIN O

PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9. CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.

SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS. PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES.

EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING)

NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK

ABUTS OR JOINS ONTO CONCRETE WORK.

11.

12.

13.

CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS. WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN

FRAMES AND INSTALLED TO MANUFACTURES SPECIFICATIONS.

CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE. PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH

ALL MATERIALS ANGLE TRIMS, ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.

PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHERS SCHEDULE

SIGNAGE

WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.

"MAHN DESIGN" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

14. PAVING

GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT. THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD

SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.

CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS

PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY. TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF

DRIVEWAY AND BED EDGE BRICK IN MORTAR.
PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.

PAVING PATTERN: REFER TO ADDENDUM.

BRICK PAVERS SHALL BE:

TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

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DRAWING TITLE: Architectural Specification E.T. DRAWN BY: S.D. CHECKED BY:

DP:35899

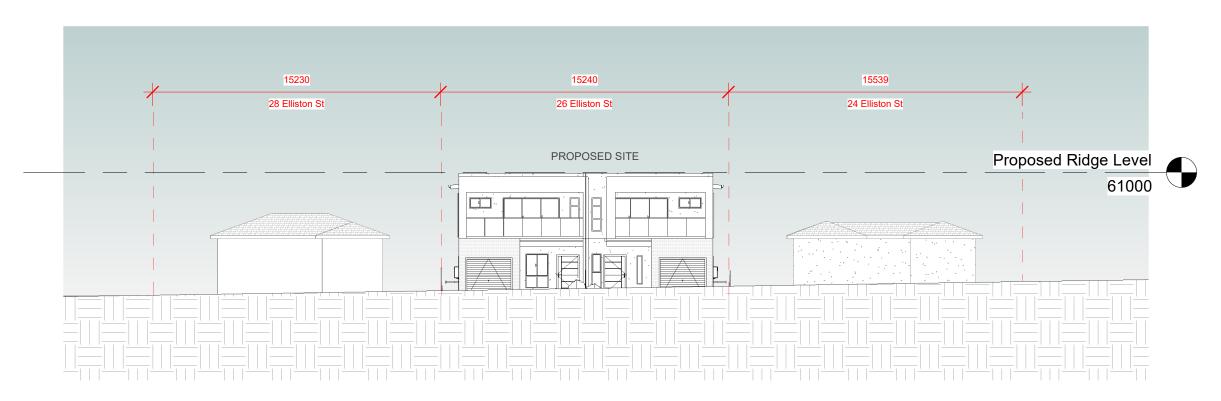
SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy DATE: Issue Date REV: A SHEET NO: A106









Streetscape Elevation

1:200



16 Treuer Parade, Yagoona (Mar 2021- Google Maps Images)



20 Treuer Parade, Yagoona (Mar 2021- Google Maps Images)

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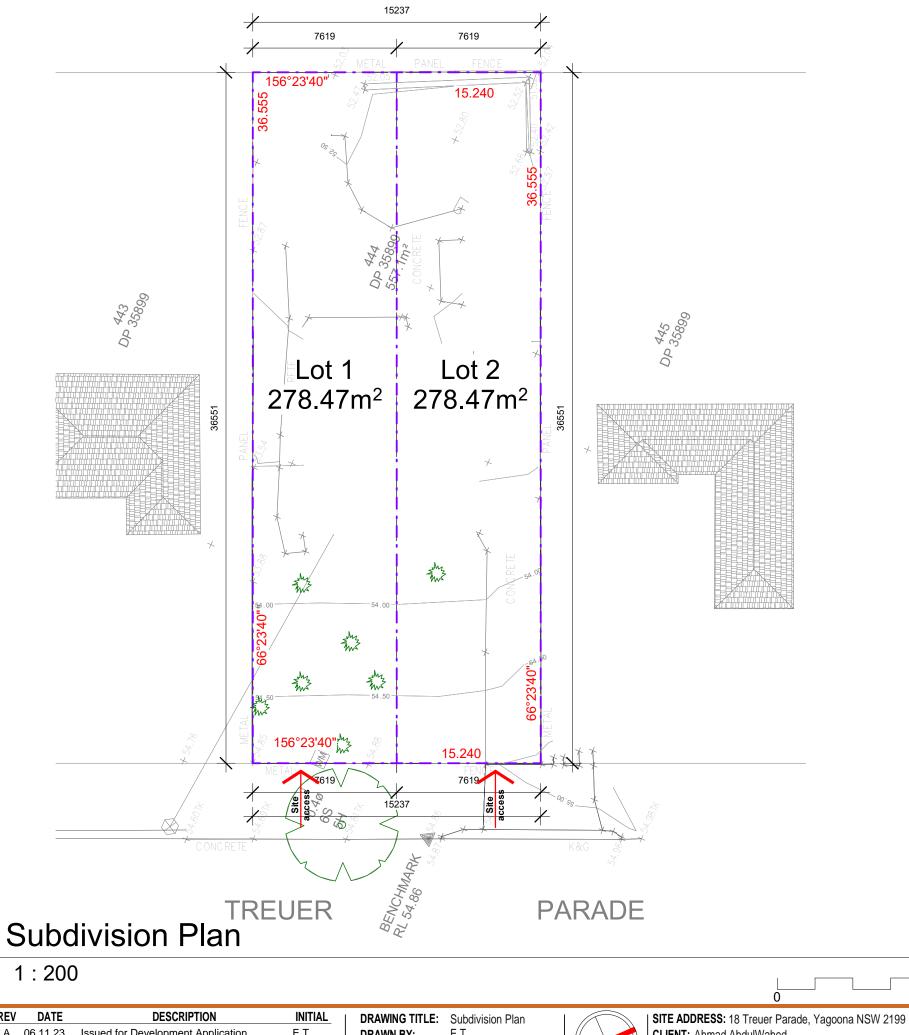
DATE DESCRIPTION A 06.11.23 Issued for Development Application E.T. **DRAWING TITLE:** Streetscape Elevation DRAWN BY: E.T. S.D. CHECKED BY: LOT: 444 | SEC:

INITIAL

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad Abdull/Vahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A107





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CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an
Attached Dual Occupancy

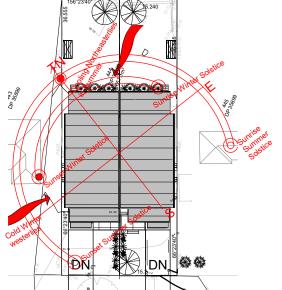
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20 m

Suite 4/259 Northumberland St, Liverpool NSW 2170, Australia Ph: 02 8319 9447 | info@mahn.com.au | www.mahn.com.au **SCALE:** 1:200

15237 7619 7619 900 6719 6719 900 .156°23'40" 15.2Storage റ്റ് Storage 56 Shed Shed POS POS 119,03 m² 2545295 2550295 Dp 445 35899 2840 450 -8≠ und Floor FFL: 54.50 Ground Floor FFL: 54.5 Proposed Attached 2 Storey 11975 **Dual Occupancy** irst Floor FFL: 57.50 First Floor FFL: 57.5 LOOR SETBACK Ramp Ramp 0009 156°7̄3'4(40 DN-3250_® 3469 3469 3250 900 ⁴76195 7619 Site Plan **PARADE**



Sumpath Analysis

1:500

Area Schedule		
Name	Area	
Unit 1		
Alfresco	19.77 m²	
Balcony	12.11 m²	
Driveway	19.50 m²	
First Floor	71.33 m ²	
Garage	16.53 m ²	
Ground Floor	67.55 m ²	
Landscape	133.45 m ²	
Porch	6.68 m ²	
POS	119.03 m ²	
Site Area	278.47 m ²	
Unit 2		
Alfresco	19.77 m²	
Balcony	10.08 m ²	
Driveway	19.50 m²	
First Floor	71.33 m ²	
Garage	15.93 m²	
Ground Floor	67.55 m ²	
Landscape	132.70 m ²	
Porch	6.68 m ²	
POS	119.03 m ²	
Site Area	278.47 m ²	

Unit 1 Total TFA	138.88 m ²
Unit 1 FSR	0.50
Unit 2 Total TFA	138.88 m ²
Unit 2 FSR	0.50

LOCATION MAP



NOTES AND SPECIFICATION

- These drawings are to be read in conjunction with the architectural drawings, structural drawings, and the specification.
- Prior to commencement of works the contractor shall satisfy himself of the 2. correct location of existing services whether indicated or not on the plans. Any damage to existing services shall be rectified at the contractor's expense.
- 3. Traffic management measures have to be implemented and maintained during construction, all in accordance with Council's requirements. The contractor shall maintain safe pedestrian access along the footpath.
- 4. The contractor shall effect temporary drainage measures to avoid localised ponding of surface run-off.
- Refer to architect's drawings for all details (levels, grading, etc.) of driveways, concrete and paved areas, and retaining wall types and locations.
- 6. Refer to landscape architect's drawings for details and extent of all landscaped areas. 7.
- All SWD pipes are UPVC at 1.0% minimum grade.
- SWD pits can be pre-cast sized as follows: 450mm sq. up to 600mm deep 8. 600mm sq. up to 1000mm deep
- 9. All pits located in trafficable areas, (ie, driveways) to have medium-duty grated covers suitable for withstanding loads associated with small trucks.
- 10. Provide step irons to all pits greater than 1.2m deep.
- 11. The contractor shall implement all soil erosion and sediment control measures prior to commencement of works.
- 12. Topsoil shall be stripped dn stockpile outside hazard areas such as drainage lines. This topsoil is to be respread later on are as to be revegetated.
- 13. The contractor shall regularly maintain all sediment and erosion control devices and remove accumulated silt from such devices. All silt removed shall be disposed of as directed by the superintendent. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or Council.
- 14. The contractor shall maintain dust control until final completion of works

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1:200

INITIAL DATE DESCRIPTION 06.11.23 Issued for Development Application E.T.

DRAWING TITLE: Site Plan E.T. DRAWN BY: S.D. CHECKED BY: LOT: 444 | SEC:

DP:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Attached Dual Occupancy

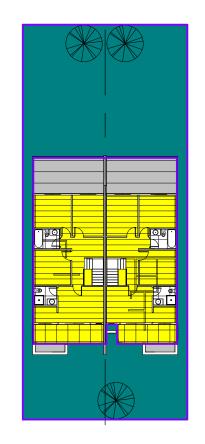
Issue Date REV: A SHEET NO: A109



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COUNCIL AREA:

indicated

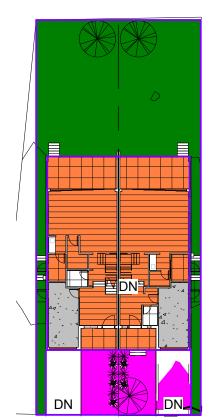


Building Area Legend

Building Area

Exterior Space





AREA GROUND FLOOR PLAN

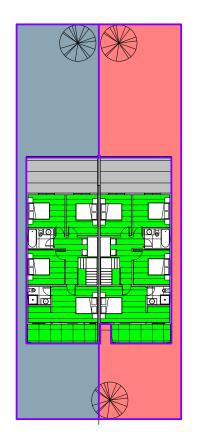
Building Area Legend

Front Yard

Ground Floor

Rear and Side Landscaping

SITE PERMEABILITY



Building Area Legend

Building Area Legend

Building Area

Permeable Area

Hard Surface Coverage

First Floor

Lot 1

Lot 2

AREA FIRST FLOOR PLAN

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DESCRIPTION INITIAL DATE A 06.11.23 Issued for Development Application E.T.

DRAWING TITLE: Analysis Plan DRAWN BY: E.T. S.D. CHECKED BY: LOT: 444 | SEC: **DP**:35899

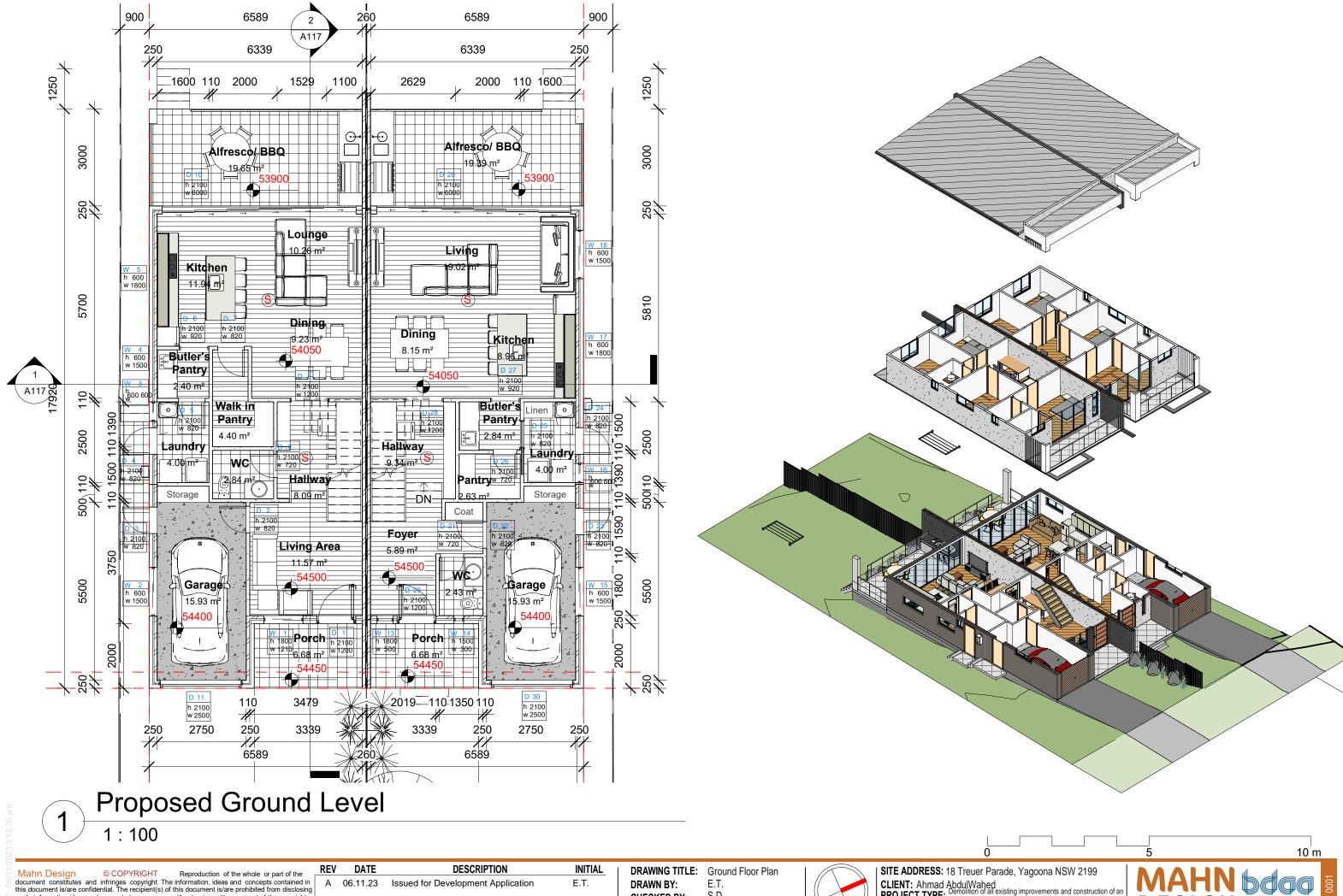


SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A110 **COUNCIL AREA:**





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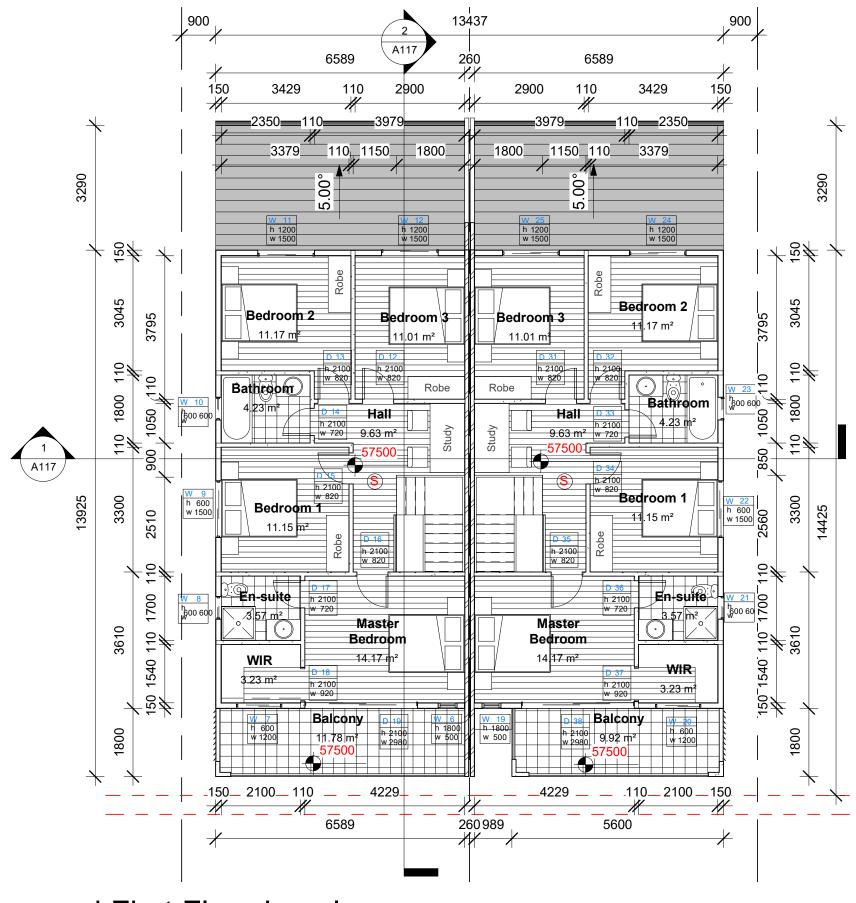
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S.D. CHECKED BY: LOT: 444 | SEC: **DP**:35899

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A111 **COUNCIL AREA:**

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Proposed First Floor Level

1:100

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DESCRIPTION INITIAL DATE A 06.11.23 Issued for Development Application E.T.

DRAWING TITLE: First Floor Plan DRAWN BY: E.T. S.D. CHECKED BY: LOT: 444 | SEC: **DP**:35899

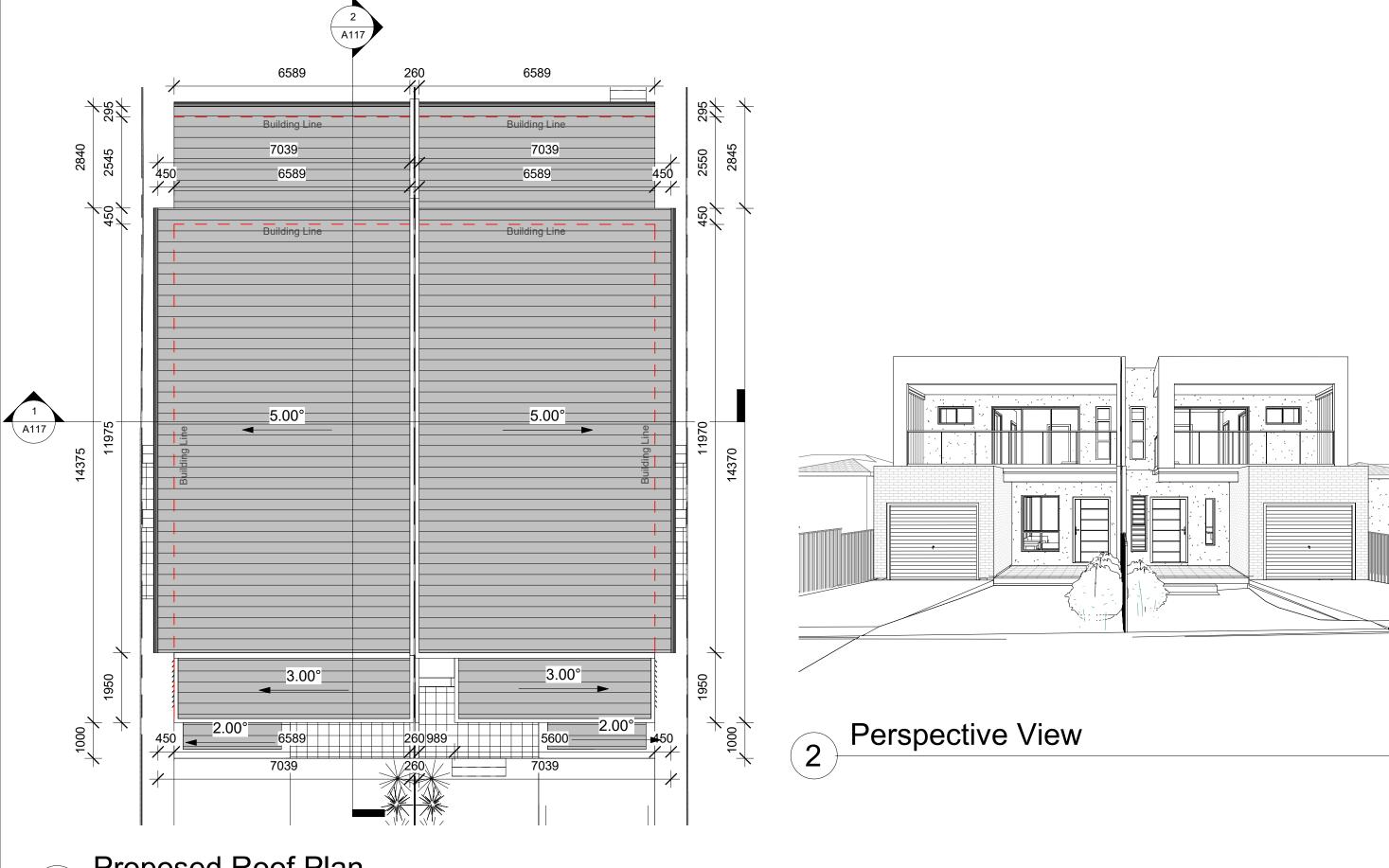


SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an
Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A112 **COUNCIL AREA:**



10 m



Proposed Roof Plan

1:100

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DESCRIPTION INITIAL DATE A 06.11.23 Issued for Development Application E.T.

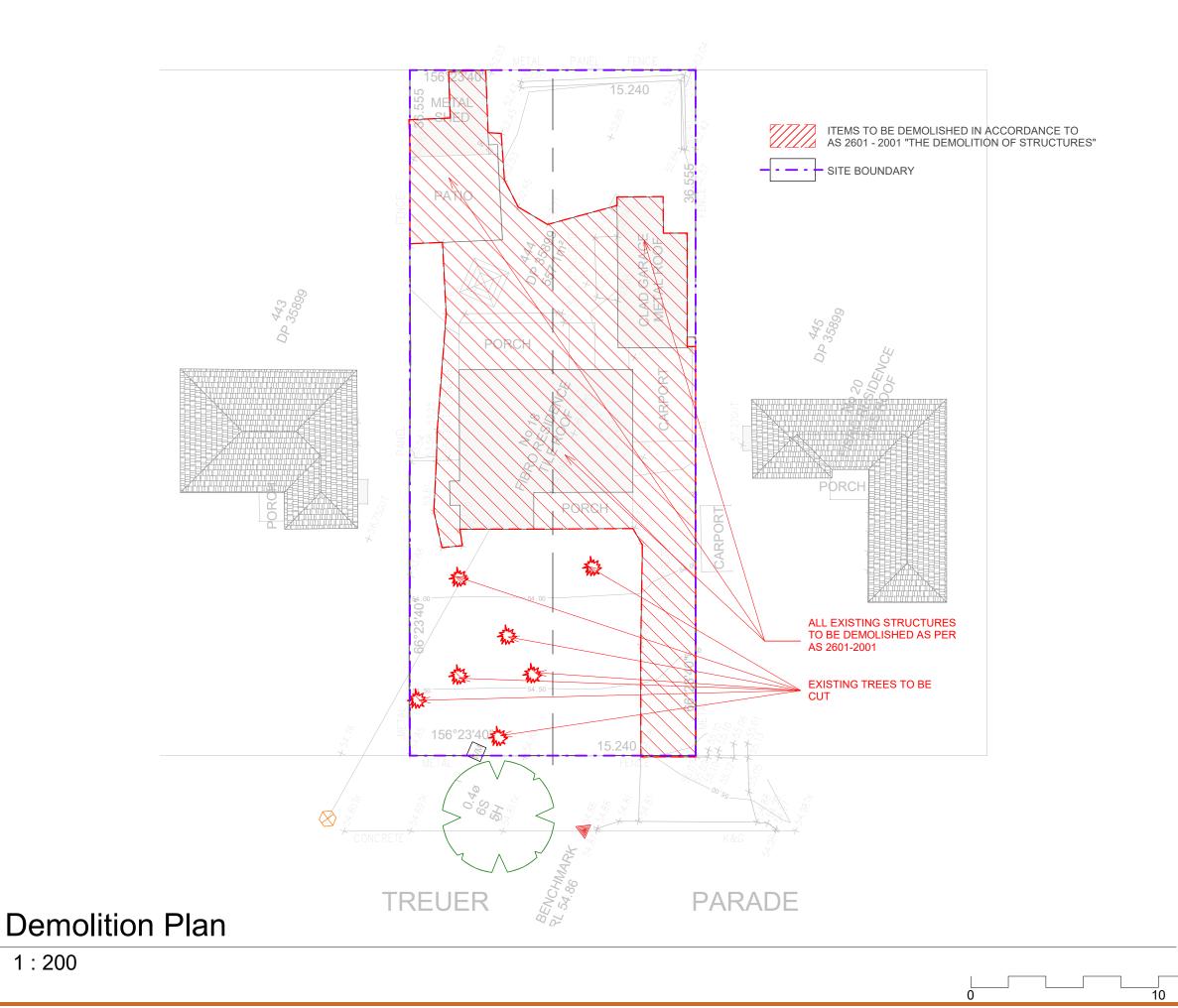
DRAWING TITLE: Roof Plan DRAWN BY: E.T. S.D. CHECKED BY: LOT: 444 | SEC: **DP**:35899



SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an
Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A113 **COUNCIL AREA:**

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1:200

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DESCRIPTION INITIAL DATE A 06.11.23 Issued for Development Application E.T.

DRAWING TITLE: Demolition Plan DRAWN BY: E.T. S.D. CHECKED BY: LOT: 444 | SEC:



SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an
Attached Dual Occupancy

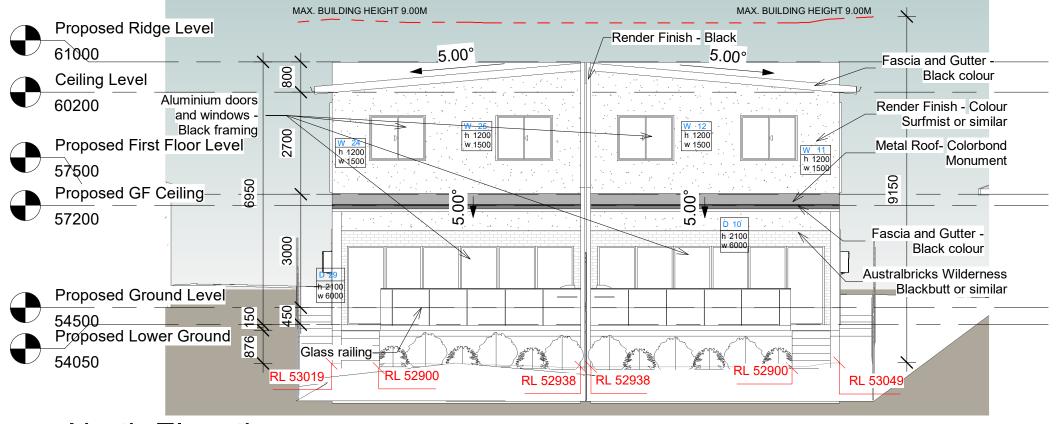
DATE: Issue Date REV: A SHEET NO: A114

DESIGN ACCREDITED BUILDING DESIGNER

20 m

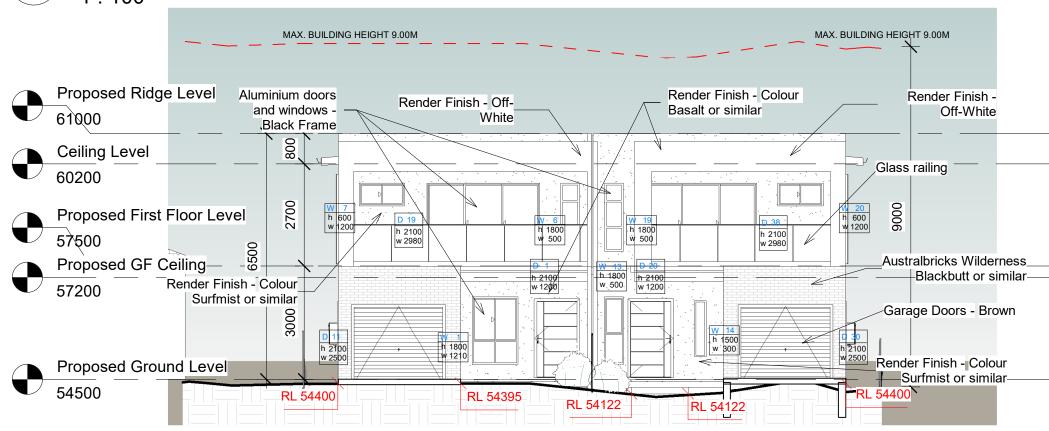
DP:35899

COUNCIL AREA:



North Elevation

1:100



South Elevation

1:100

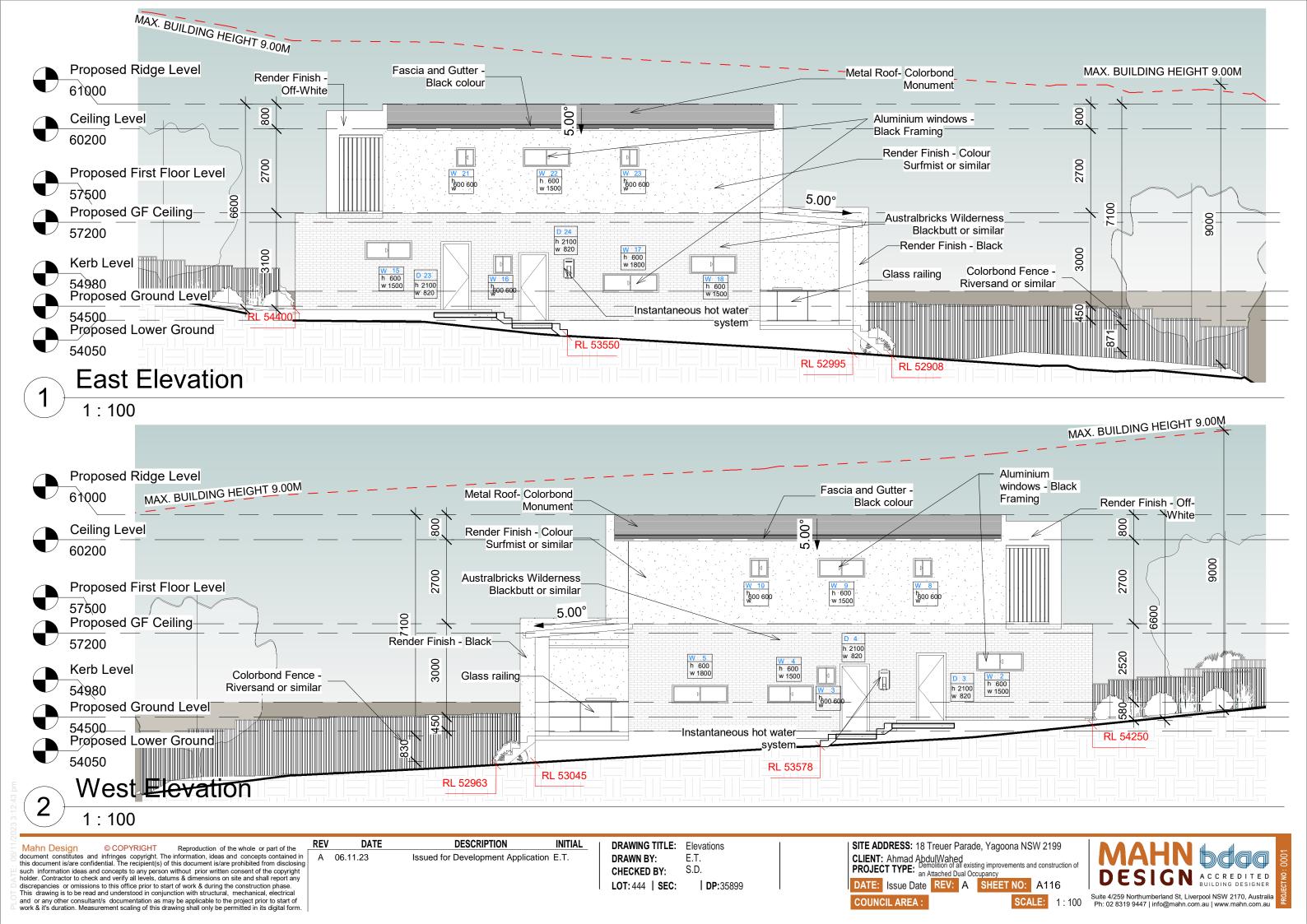
DESCRIPTION DATE INITIAL A 06.11.23 Issued for Development Application E.T.

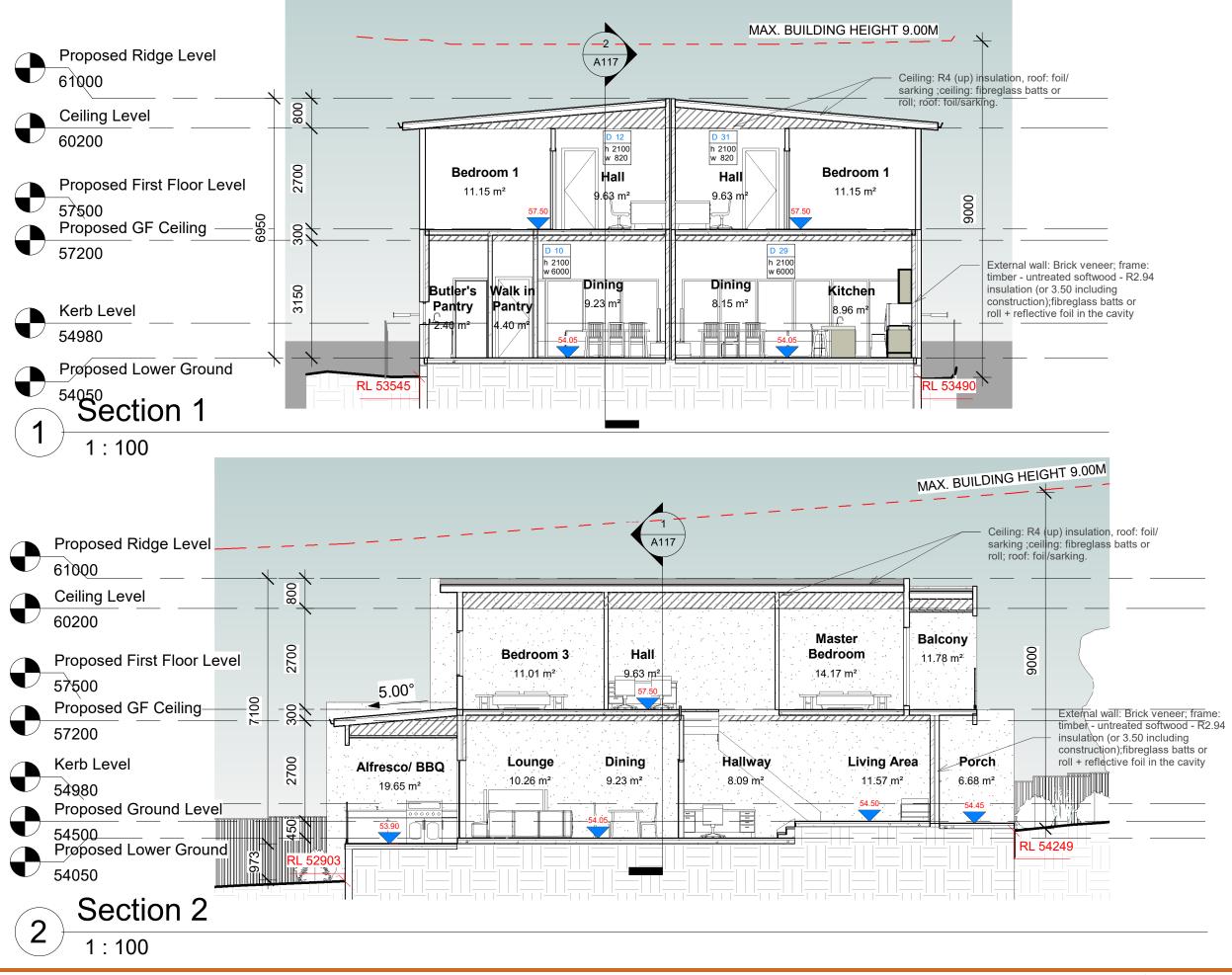
DRAWING TITLE: Elevations E.T. DRAWN BY: S.D. CHECKED BY: LOT: 444 | SEC: **DP**:35899 | SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy DATE: Issue Date REV: A SHEET NO: A115

COUNCIL AREA:







discrepancies or omissions to this office prior to start of work & during the construction phase. This drawing is to be read and understood in conjunction with structural, mechanical, electrical and or any other consultant/s documentation as may be applicable to the project prior to start of work & it's duration. Measurement scaling of this drawing shall only be permitted in its digital form.

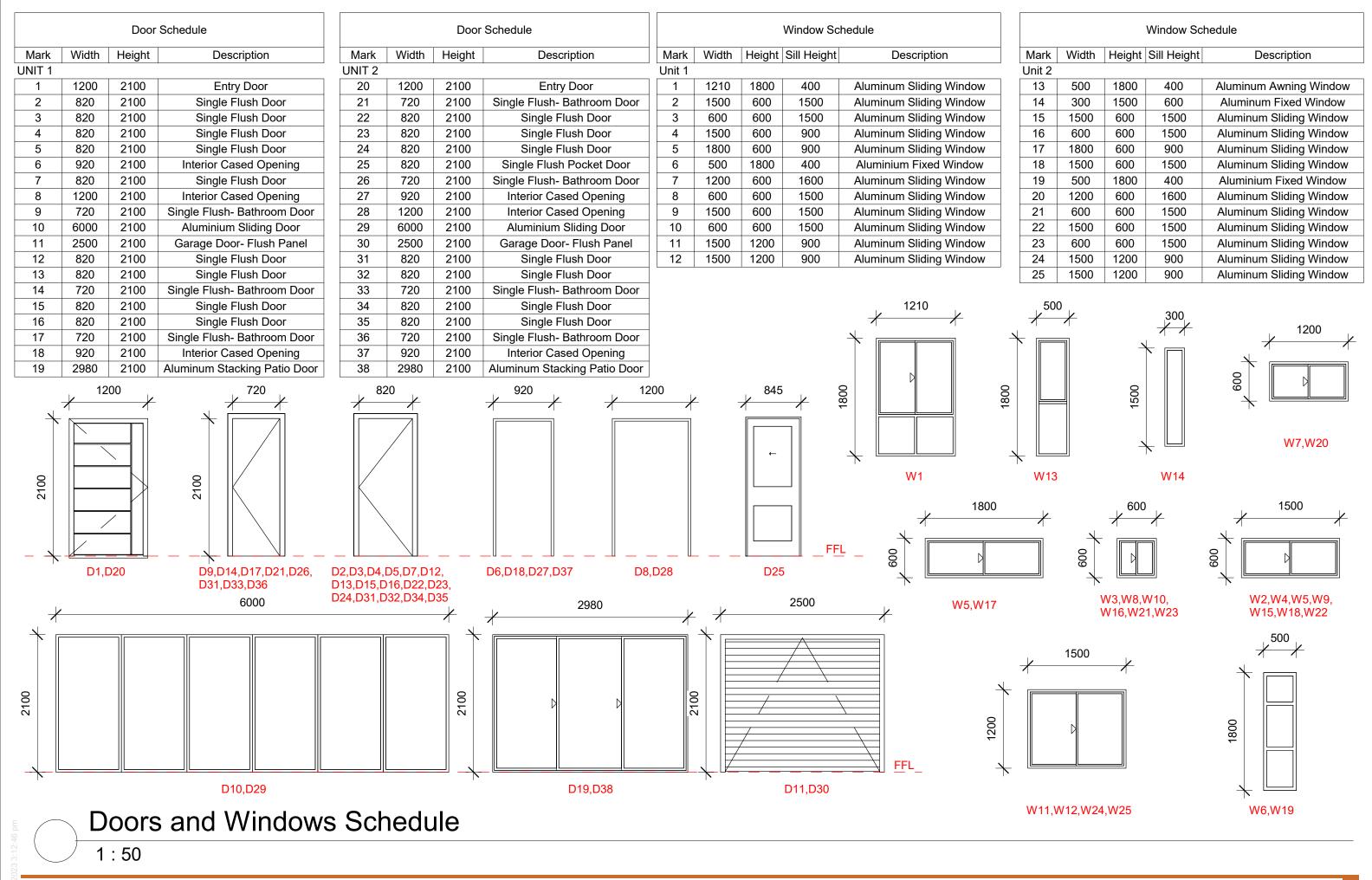
DATE DESCRIPTION INITIAL A 06.11.23 Issued for Development Application E.T.

DRAWING TITLE: Sections E.T. DRAWN BY: S.D. CHECKED BY: LOT: 444 | SEC: **DP:**35899

| SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A117





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DATE DESCRIPTION INITIAL A 06.11.23 Issued for Development Application E.T.

DRAWING TITLE: Doors and Windows Schedule E.T. DRAWN BY:

S.D. **CHECKED BY:** LOT: 444 | SEC: **DP**:35899 SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy Issue Date REV: A SHEET NO: A118



COUNCIL AREA:

SCALE:

EXTERIOR FINISHES FOR UNIT 1

Render Finish colour- Off -White and **EXTERIOR WALLS** Colorbond Surfmist or equivalent Austral Bricks - Wilderness Blackbutt or Accent Wall colour -Basalt or equivalent ROOF Corrugated Roof - Colorbond - Monument or Similar EXTERIOR DOORS **Timber Framed Door** WINDOW FRAMES, GUTTER AND DOWNPIPES Gutter colour - Black Downpipes colour - White EXTERIOR FLOORS Concrete Driveway Natural colour

EXTERIOR FINISHES FOR UNIT 2

WALLS	Render Finish colour- Off -White and Colorbond Surfmist or equivalent
EXTERIOR WALLS	Austral Bricks - Wilderness Blackbutt or similar
	Accent Wall colour -Basalt or equivalent
ROOF	
	Corrugated Roof - Colorbond - Monument or Similar
EXTERIOR DOORS	Timber Framed Door
WINDOW FRAMES, GUTTER AND DOWNPIPES	Gutter colour - Black Downpipes colour - White
EXTERIOR FLOORS	Concrete Driveway Natural colour

S.D. CHECKED BY: LOT: 444 | SEC: **DP**:35899 | SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy





BASIX*Certificate

Single Dwelling



Project summary		
Project name	A-23006 - Unit 1 18 Tre NSW	uer Parade, Yagoona,
Street address	18 TREUER PARADE Y	AGOONA 2199
Local Government Area	Canterbury-Bankstown	Council
Plan type and plan number	Deposited Plan 35899	
Lot no.	444	
Section no.	-	
Project type	dwelling house (attache	d)
No. of bedrooms	4	
Project score		
Water	✓ 47	Target 40
Thermal Performance	✓ Pass	Target Pa
Energy	√ 75	Target 72
Materials	✓ 11	Target n/

Certificate Prepared by	
Name / Company Name: Statiker	
ABN (if applicable): 55319613625	

SIX	Department of Planning and Environment	www.basix.nsw.gov.au	Version: 4.0 / EUCALYPTUS_03_01_0	Certificate No.: 1372701S	Monday, 16 October 2023	page 1/13

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
DIY			0
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	~	~	~
The conditioned floor area of the dwelling must not exceed 300 square metres.	~	~	~
The dwelling must not contain open mezzanine area exceeding 25 square metres.	V	~	~
The dwelling must not contain third level habitable attic room.	~	~	~
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	V	~	~
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	~	~	~
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below,			V

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground.	67.55	nil;not specified	nil	
floor - above habitable rooms or mezzanine, particle board; frame: timber - untreated softwood	61.47	nit;none	nil	
floor - suspended floor above garage, particle board; frame: timber - untreated softwood.	8.83	nit;none	nil	
garage floor - concrete slab on ground, waffle pod slab.	15.93	none	nil	

BASIX	Department of Planning and Environment	www.hasiv.new.new.au	Version: 4.0 / ELICAL VPTLIS 03: 01: 0	Cartificate No - 13727019	Monday 16 October 2023	

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
D10	N	2100.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 3000 mm, 2500 mm above base of window or glazed door	not overshadowed
D19	s	2100.00	2980.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1800 mm, 2400 mm above base of window or glazed door	not overshadowed
W06	s	1800.00	500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1800 mm, 2100 mm above base of window or glazed door	not overshadowed
W07	s	1200.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1800 mm, 850 mm above base of window or glazed door	not overshadowed
W01	S	1800.00	1210.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1000 mm, 2200 mm above base of window or glazed door	not overshadowed
W10	w	600.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 560 mm above head of window or glazed door	not overshadowed
W09	w	600.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 560 mm above head of window or glazed door	not overshadowed
W08	w	600.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 560 mm above head of window or glazed door	not overshadowed
W04	w	600.00	1500.00	aluminium, single glazed (U-value: <-4, SHGC: 0.40 - 0.49)	none	not overshadowed
wos	w	600.00	1800.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed

egend	
these commitments, "applicant"	means the person carrying out the development.
	in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a odged for the proposed development).
ommitments identified with a	in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction nt certificate for the proposed development.
ommitments identified with a nai) for the development may be	in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim issued.
nai) for the development may be	issued.

Project address		Assessor details and then	mai loads	
Project name	A-23006 - Unit 1 18 Treuer Parade, Yagoona,	Assessor number	n/a	
	NSW	Certificate number	n/a	
Street address	18 TREUER PARADE YAGOONA 2199	Climate zone	n/a	
Local Government Area	Canterbury-Bankstown Council	Area adjusted cooling load (MJ/	n/a	
Plan type and plan number	Deposited Plan 35899	m².year)	170231	
Lot no.	444	Area adjusted heating load (MJ/ m².vear)	n/a	
Section no.	-			
Project type		Project score		
Project type	dwelling house (attached)	Water	✓ 47	Target 40
No. of bedrooms	4	Thermal Performance	1000 200	
Site details		THEITIER I CHOMINETOC	✓ Pass	Target Pass
Site area (m²)	278	Energy	√ 75	Target 72
Roof area (m²)	120			
Conditioned floor area (m²)	126.78	Materials	✓ 11	Target n/a
Unconditioned floor area (m²)	11.07	-		
Total area of garden and lawn (m²)	133			

Construction		Additional insulation required	Options to address thermal bridging	Other specifications
external wall: brick veneer; frame: timber - untreated softwood.	all external walls	2.94 (or 3.50 including construction), floreglass batts or roll + reflective foil in the cavity	nil	wall colour: Light (solar absorptance < 0.48)
external garage wall: brick veneer; frame: please select.	1	fibreglass batts or roll + reflective foil in the cavity	nil	
internal wall shared with garage; plasterboard; frame: timber - untreated softwood.	8.25	nil;none	nii	
internal wall: plasterboard; frame: timber - untreated softwood.	144.13	none	nii	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	120.12	ceiling: 4 (up), roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	ni	roof colour: dark (solar absorptance 0.71-0.79); ceiling area fully insulated
Note • If the additional ceiling ins Note • In some climate zones, in	sulation listed in the table above sulation should be installed wit	n accordance with the ABCB Housing Provision e is greater than R3.0, refer to the ABCB Hou th due consideration of condensation and asse	sing Provisions (Part 13.2.3 (6)) of to ociated interaction with adjoining but	he National Construction Code.
Note • If the additional ceiling ins Note • In some climate zones, in	sulation listed in the table above sulation should be installed wit	e is greater than R3.0, refer to the ABCB Hou	sing Provisions (Part 13.2.3 (6)) of to ociated interaction with adjoining but	he National Construction Code.
Note • If the additional ceiling ins Note • In some climate zones, in	sulation listed in the table above sulation should be installed wit	e is greater than R3.0, refer to the ABCB Hou- th due consideration of condensation and asse	sing Provisions (Part 13.2.3 (6)) of to ociated interaction with adjoining but	he National Construction Code.
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Note • If the additional ceiling ins Note • In some climate zones, in	sulation listed in the table above sulation should be installed wit	e is greater than R3.0, refer to the ABCB Hou- th due consideration of condensation and asse	sing Provisions (Part 13.2.3 (6)) of to ociated interaction with adjoining but	he National Construction Code.

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W03	w	600.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed
W02	W	600.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed
		,				

he commitments set out below regulate how the proposed development is to be carried out. It is a condition of any develop evelopment certificate issued, for the proposed development, that BASIX commitments be compiled with.	ment conser	it granted, or complyi	ng
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 133.45 square metres of the site.	~	~	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 Umin plus spray force and/or coverage tests) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 120.12 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
all toilets in the development		~	~
 the cold water tap that supplies each clothes washer in the development 			

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	~	~	~
The applicant must install at least one ceiling fan in each bedroom.	~	~	~
 The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code. 	~	~	V

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifi
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating; gas instantaneous with a performance of 5 stars.	~	~	V
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	·
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	v
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	V
Ventilation			
The applicant must install the following exhaust systems in the development:			T
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		~	
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		~	
Laundry: natural ventilation only, or no isundry, Operation control: n/a		~	•
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-clode (LED) lemps.		~	V
Natural lighting			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.		- 4	1

Glazed windows, doors	and at date				10000-00000	100000000000000000000000000000000000000	THE STREET
					-	1	-
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.					~	~	~
The dwelling may have	1 skylight (<0.7 square	metres) which is not listed in the	table.		~	~	~
The following requirement	ents must also be satisf	ed in relation to each window and	d glazed door:		~	~	~
 The applicant must in table. 	stall windows and glaze	ed doors in accordance with the h	eight and width, frame and	glazing types listed in the	~	~	V
		J- value no greater than that lister must be calculated in accordant				~	~
Vertical external louve closed.	es and blinds must fully	shade the glazed window or doo	or beside which they are sit	tuated when fully drawn or	v	~	~
Overshadowing building as specified in the 'overshadowing'		of the height and distance from	the centre and the base of	the window and glazed door,	~	~	~
	exceed 3 square metres	ed in the table below, in accordar s (the 3 square metre limit does n led in the table).			~	~	~

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	~	~	~
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	~	~	~
The following requirements must also be satisfied in relation to each window and glazed door:	~	~	~
 The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table. 	~	~	V
 Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. 		~	~
Vertical external louvres and blinds must fully shade the glazed window or door beside which they are situated when fully drawn or closed.	~	~	~
	_		_

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W12	N	1200.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 1000 mm above head of window or glazed door	not overshadowed
W11	N	1200.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 750 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		~	

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DATE

DESCRIPTION INITIAL Issued for Development Application E.T.

DRAWING TITLE: BASIX Certificate DRAWN BY: E.T.

S.D.

LOT: 444 | SEC: **DP**:35899

CHECKED BY:

| SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

COUNCIL AREA:





Single Dwelling



Project summary		
Project name	A-23006 - Unit 2 18 T NSW	Freuer Parade, Yagoona,
Street address	18 TREUER PARAD	E YAGOONA 2199
Local Government Area	Canterbury-Bankstov	in Council
Plan type and plan number	Deposited Plan 3589	9
Lot no.	444	
Section no.	-	
Project type	dwelling house (attac	hed)
No. of bedrooms	4	
Project score		
Water	✓ 47	Target 40
Thermal Performance	✓ Pass	Target Pas
Energy	✓ 75	Target 72
Materials	✓ 10	Target n/a

	1
Certificate Prepared by lame / Company Name: Statiker	
BN (if applicable): 55319613625	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
DIY			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	~	~	~
The conditioned floor area of the dwelling must not exceed 300 square metres.	~	~	~
The dwelling must not contain open mezzanine area exceeding 25 square metres.	~	~	~
The dwelling must not contain third level habitable attic room.	~	~	~
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	~	~	~
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	~	~	~
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			V

Construction		Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground.	67.55	nil;not specified	nil	
floor - above habitable rooms or mezzanine, particle board; frame: timber - untreated softwood	61.68	nil;none	nii	
floor - suspended floor above garage, particle board; frame: timber - untreated softwood.	10.83	nil;none	nil	
garage floor - concrete slab on ground, waffle pod slab.	15.93	not specified	nil	

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W25	N	1200.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 750 mm above head of window or glazed door	not overshadowed
W23	E	600.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 560 mm above head of window or glazed door	not overshadowed
W22	E	600.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 560 mm above head of window or glazed door	not overshadowed
W21	E	600.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 560 mm above head of window or glazed door	not overshadowed
W18	E	600.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed
W17	E	600.00	1800.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed
W16	E	600.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed
W15	E	600.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed
W20	s	600.00	1200.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1800 mm, 850 mm above base of window or glazed door	not overshadowed
W19	s	1800.00	500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1800 mm, 2100 mm above base of window or glazed door	not overshadowed
W13	S	1800.00	500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	none	not overshadowed

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a 🎺 in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a 💆 in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a 🏓 in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

Department of Planning and Environment	www.basix.nsw.gov.au	Version: 4.0 / EUCALYPTUS_03_01_0	Certificate No.: 1372699S	Monday, 16 October 2023	page 13/13

Description of project

palesthoad; thank timber universited softwood, informal walk plasethoad; thank timber and palesthoad; thank timber and palesthoad; thank timber and palesthoad; thank timber and palesthoad. 186.37	Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
Theme: presse select.	external wall: brick veneer; frame: timber - untreated softwood.	all external walls	construction);fibreglass batts or	nil	wall colour: Light (solar absorptance < 0.48)
palesthoad; thank timber universited softwood, informal walk plasethoad; thank timber and palesthoad; thank timber and palesthoad; thank timber and palesthoad; thank timber and palesthoad. 186.37		-1		nil	
Treater untreated softwood. seeling and not-offacing flat in configuration of -facing flat in -		8.78	nil;none	ni	
mod, financial - metal roof, firmber - universated softwood - universated soft		136.37	none	nii	
Note • Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code. Note • If the additional ceiling insulation listed in the Intake above is greater than R3.0, of refer to the ABCB Housing Provisions (Part 13.2.3 (B)) of the National Construction Code. Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.	roof, framed - metal roof, timber -		sarking ;ceiling: fibreglass batts or	nil	absorptance 0.71-0.79); ceilir
Note • Thermal breaks must be installed in metal framed walls and applicable roots in accordance with the ABCB Housing Provisions of the National Construction Code.					
	Note • Thermal breaks must b	installed in metal framed wall	s and applicable roofs in accordance with the A	BCB Housing Provisions of the Nati	onal Construction Code.

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W14	S	1500.00	300.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1000 mm, 2000 mm above base of window or glazed door	not overshadow
D38	S	2100.00	2980.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 1800 mm, 2400 mm above base of window or glazed door	not overshadow
				1		1

the commitments set out below regulate how the proposed development is to be carried out. It is a condition of any develop levelopment certificate issued, for the proposed development, that BASIX commitments be complied with.	ment conser	nt granted, or complyi	ng
Water Commitments	Show on	Show on CC/CDC	Certifie
water Commitments	DA plans	plans & specs	check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 132.7 square metres of the site.	V	~	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 800 lifres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 120.12 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
all tollets in the development		~	~
 the cold water tap that supplies each clothes washer in the development 	l	- 7	- 14

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certific
Ceiling fans	-		
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	~	~	~
The applicant must install at least one ceiling fan in each bedroom.	~	~	~
 The minimum number and diameter of ceiting fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code. 	~	~	~

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certific check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		~	V
Ventilation			
The applicant must install the following exhaust systems in the development:	T		T
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		~	V
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		~	~
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	~
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting- diode (LED) lamps.		~	V
Natural lighting			1000

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		~	~

Thermal Performa	Show on DA plans	Show on CC/CDC plans & specs	Certifier				
Glazed windows, doors	and skylights				75		
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.						~	~
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.						~	~
The following requirements must also be satisfied in relation to each window and glazed door:						~	~
The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.						~	~
 Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. 						~	~
 Vertical external louvres and blinds must fully shade the glazed window or door beside which they are situated when fully drawn or closed. 					V	~	~
 Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. 						~	~
skylight area must not		ed in the table below, in accordar s (the 3 square metre limit does r ted in the table).			~	~	~
Glazed window/door	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading dev		lowing
					10%)	lah 3000 mm, not oversh	

D29	N	2100.00	600.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	verandah 3000 mm, 2500 mm above base of window or glazed door	not overshadowed
W24	N	1200.00	1500.00	aluminium, single glazed (U-value: <=4, SHGC: 0.40 - 0.49)	eave 450 mm, 1000 mm above head of window or glazed door	not overshadowed

Energy Commitments			Show DA pla	on Show on C ns plans & sp	CC/CDC lecs	Certifie check
Other						
The applicant must install a gas cooktop & elec	stric oven in the kitchen of th	e dwelling.		_		
The applicant must install a fixed outdoor cloth	es drying line as part of the	development.		_		

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DATE

DESCRIPTION INITIAL Issued for Development Application E.T.

DRAWING TITLE: BASIX Certificate DRAWN BY: E.T. CHECKED BY: S.D.

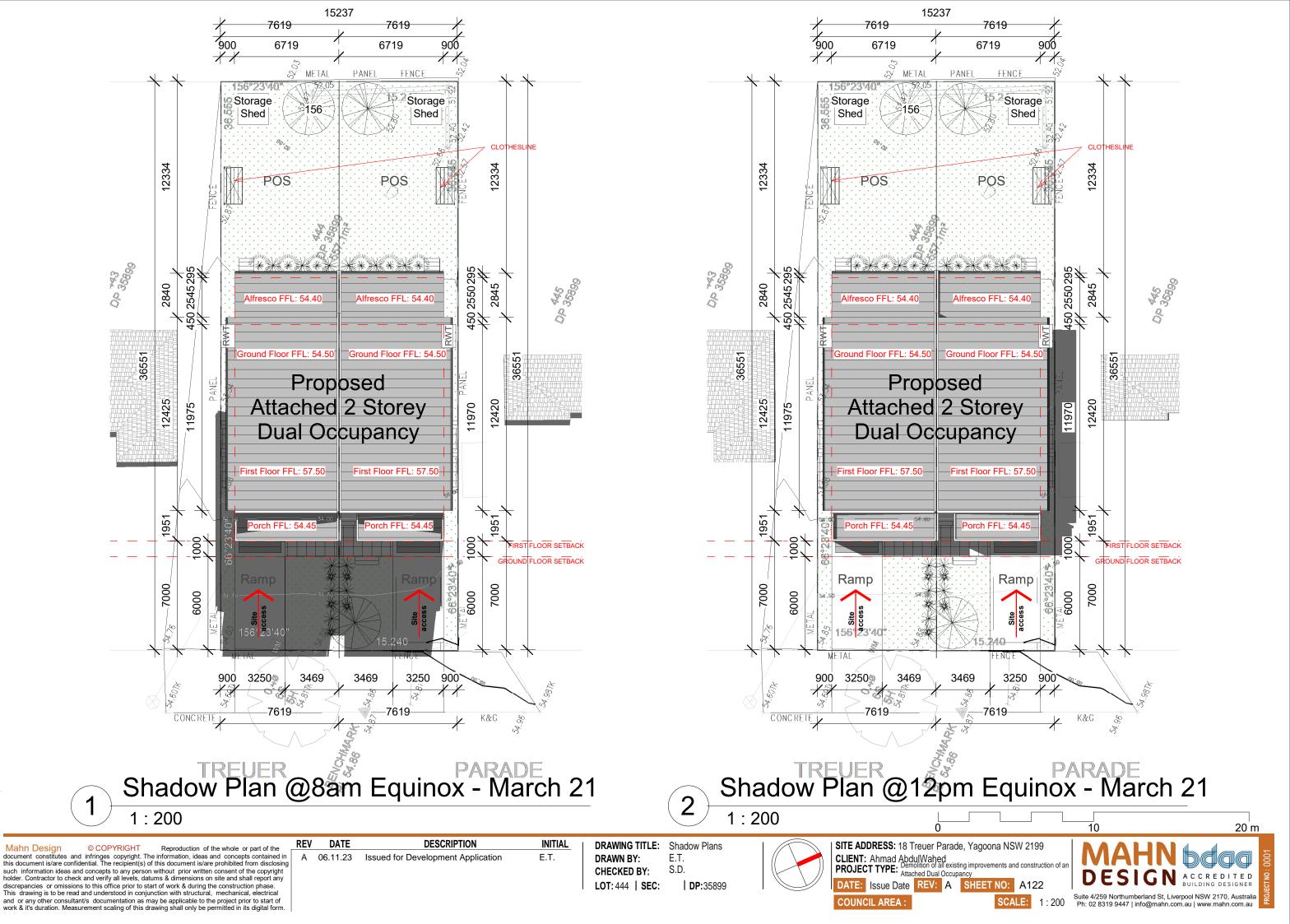
LOT: 444 | SEC: **DP**:35899 | SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199

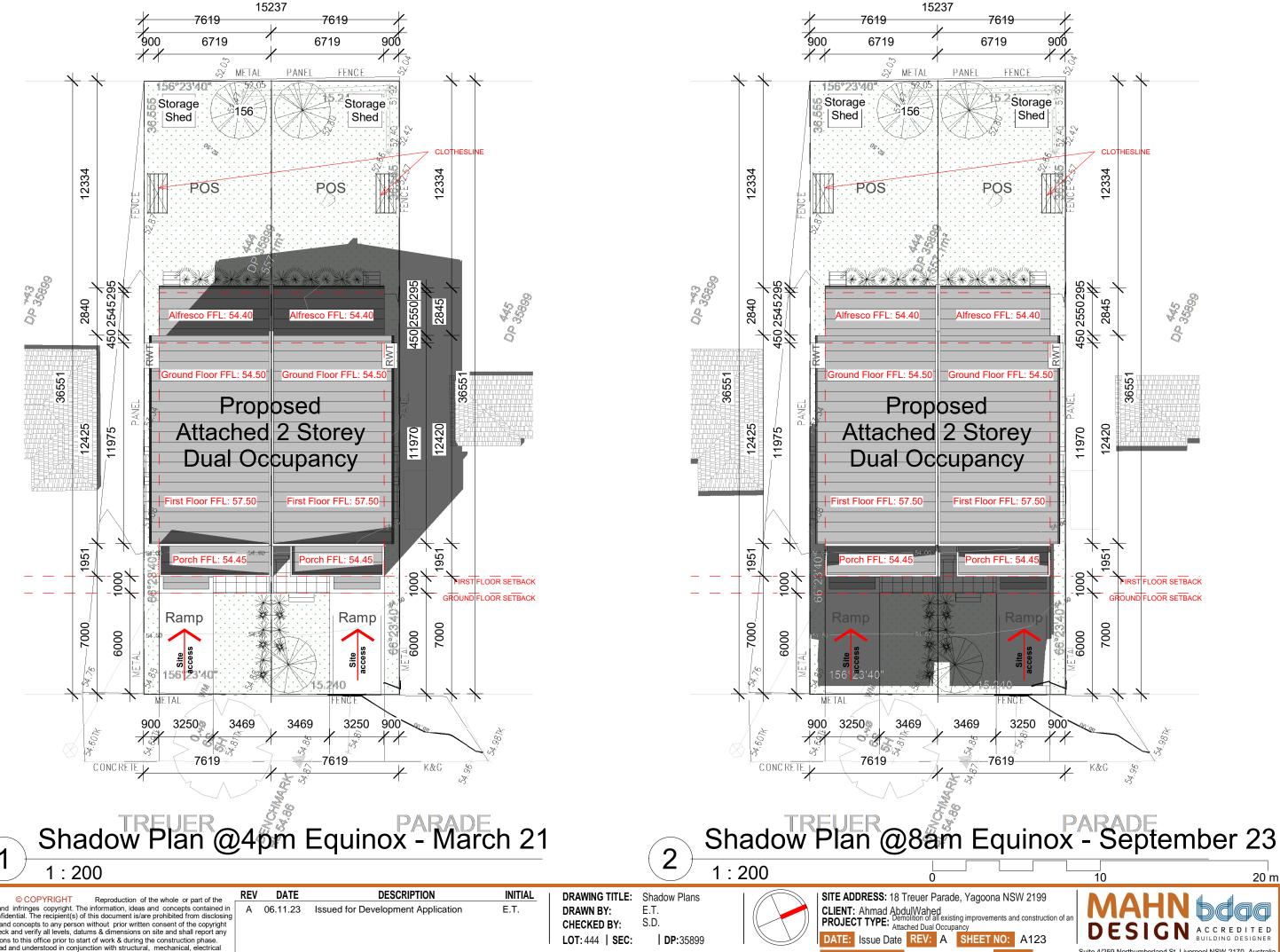
CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

COUNCIL AREA:



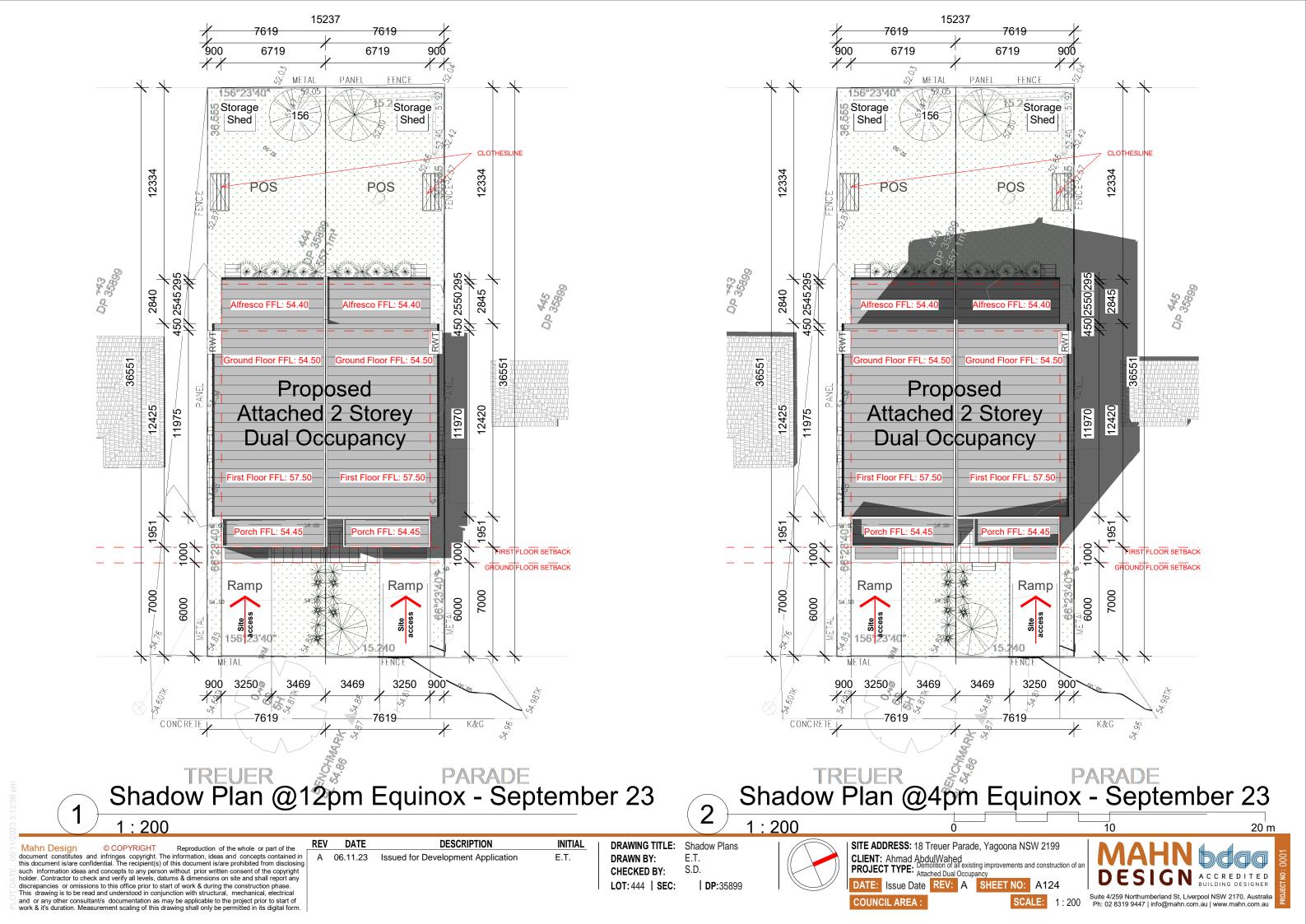


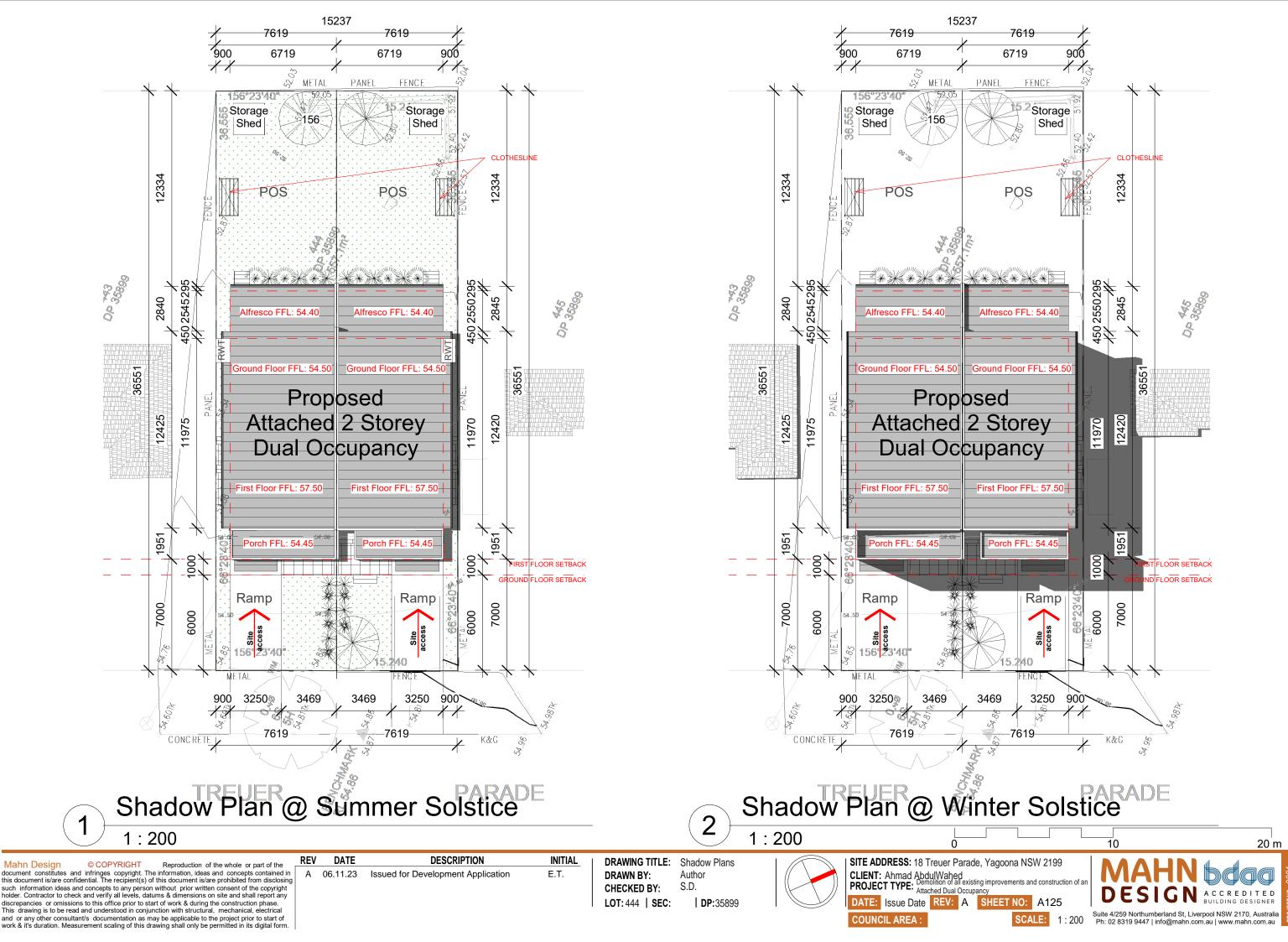


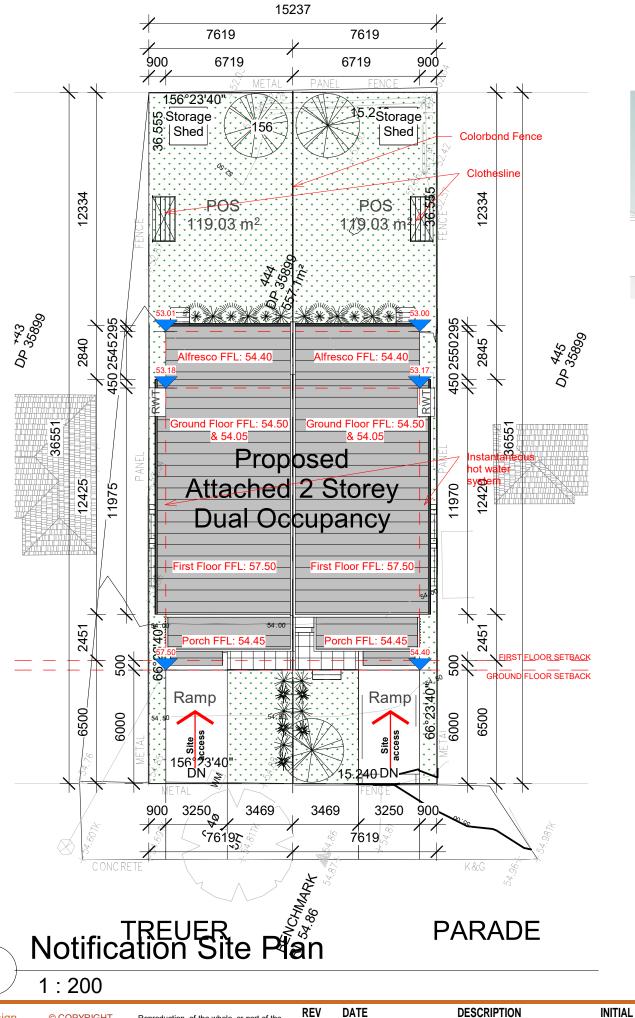


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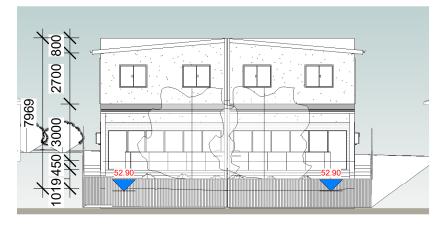
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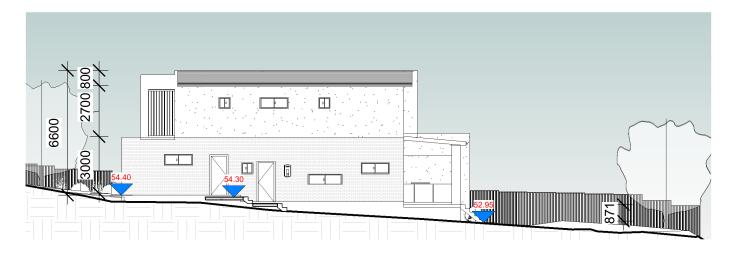




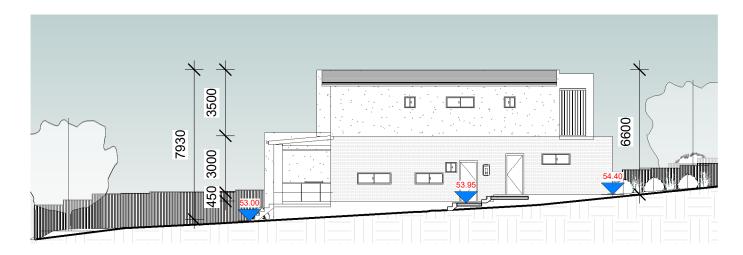


South Elevation

North Elevation



Unit 2 - East Elevation



Unit 2 - West Elevation

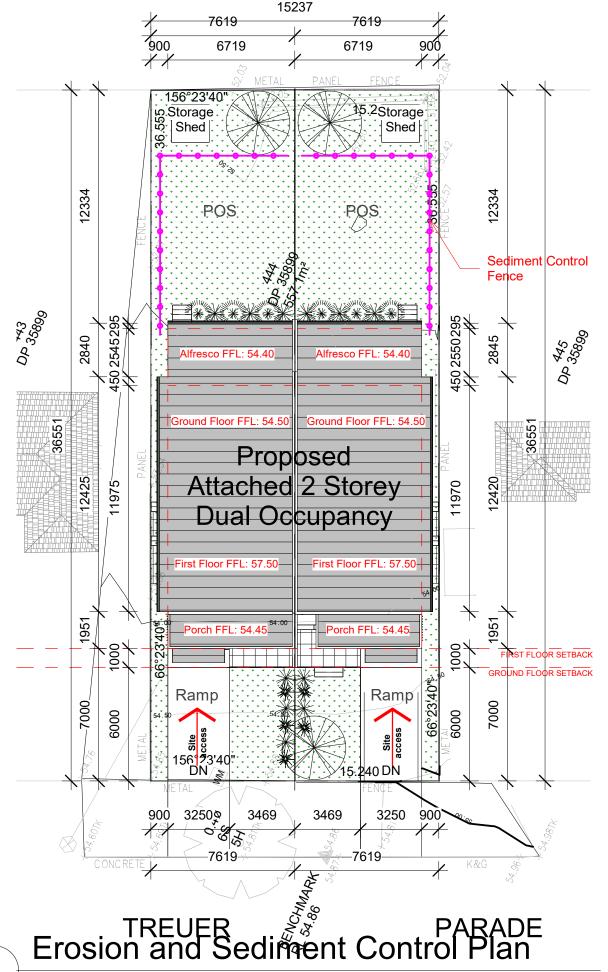
DESCRIPTION DATE A 06.11.23 Issued for Development Application E.T. **DRAWING TITLE:** Notification Plan DRAWN BY: E.T. S.D. CHECKED BY: LOT: 444 | SEC:



SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Attached Dual Occupancy

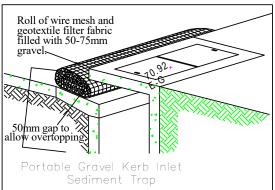
Issue Date REV: A SHEET NO:

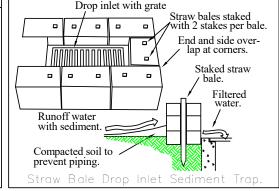


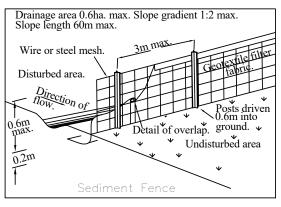


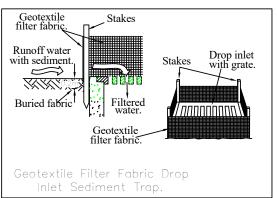
EROSION NOTES:

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE **MANAGER**
- 2. MINIMISE DISTURBED AREAS
- 3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
- 4. DRAINAGE TO BE CONNECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
- 5. ROADS AND FOOTPATH TO BE SWEPT DAILY.
- 6. NO MATERIAL TO BE STORED ON FOOTPATH.
- 7. SILT FENCE TO BE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. IT IS TO BE KEPT IN GOOD WORKING ORDER AT ALL TIMES. WHEN APPROXIMATELY 30% FULL OR AS DIRECTED BY COUNCIL'S REPRESENTATIVE, THE SILT FENCES ARE TO BE CLEARED OF SILT AND ORO THER BUILT UP MATERIALS.











1:200

discrepancies or omissions to this office prior to start of work & during the construction phase.

This drawing is to be read and understood in conjunction with structural, mechanical, electrical and or any other consultant/s documentation as may be applicable to the project prior to start of work & it's duration. Measurement scaling of this drawing shall only be permitted in its digital form.

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INITIAL E.T.

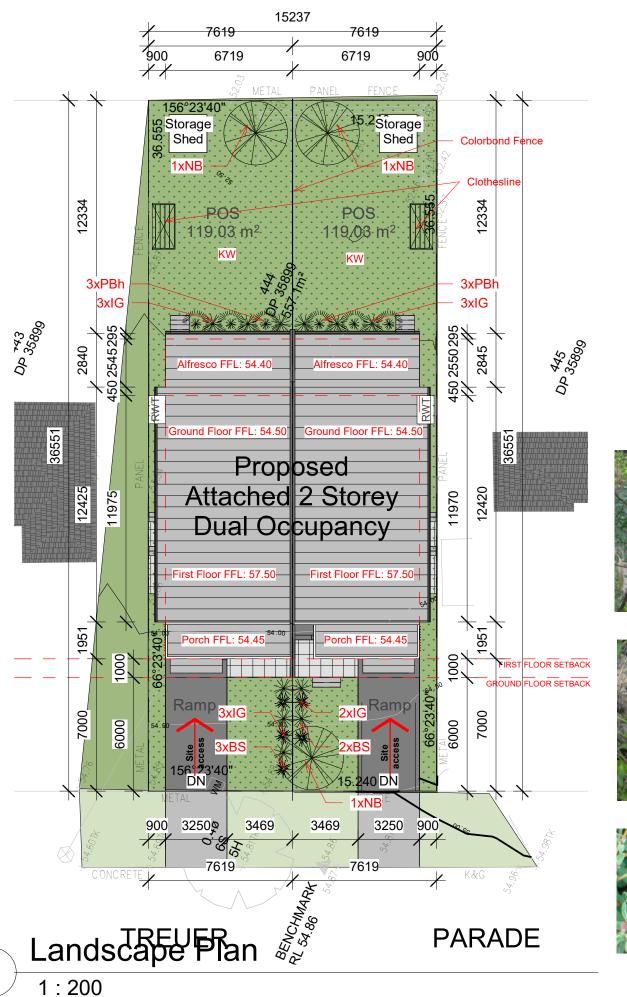
DRAWN BY: CHECKED BY:

DRAWING TITLE: Erosion and Sediment Control Plan E.T. S.D. LOT: 444 | SEC: **DP**:35899

SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: A127

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		F	Planting Schedule				
Model	Code	Botanical Name	Common Name	Qty.	Pot Size	Mature Height	Stake
Unit 1					'		'
Tree	NB	Bursaria spinosa	Native Blackthorn	1	75L	10m	Yes
Groundcover	KW	Dichondra repens	Kidney Weed	1	-	-	-
Shrub	BS	Einadia hastata	Berry Saltbush	3	50mm	50cm	No
Shrub	IG	Goodenia hederacea	Ivy Goodenia	6	50mm	80cm	No
Shrub	PBh	Leucopogon juniperinus	Prickly Beard-heath	3	140mm	50cm	
Unit 2	"			1	-	1	1
Tree	NB	Bursaria spinosa	Native Blackthorn	2	75L		Yes
Groundcover	KW	Dichondra repens	Kidney Weed	1	-	-	-
Shrub	BS	Einadia hastata	Berry Saltbush	2	50mm		No
Shrub	IG	Goodenia hederacea	Ivy Goodenia	5	50mm	80cm	No
Shrub	PBh	Leucopogon juniperinus	Prickly Beard-heath	3	140mm	50cm	



Bursaria spinosa Native Blackthorn



Leucopogon juniperinus Prickly Beard-heath



Goodenia hederacea Ivy Goodenia



Dichondra repens Kidney Weed



Einadia hastata Berry Saltbush

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DATE **DESCRIPTION** INITIAL A 06.11.23 Issued for Development Application E.T.

DRAWING TITLE: Landscape Plan DRAWN BY: E.T. S.D. CHECKED BY: LOT: 444 | SEC: **DP:**35899



SITE ADDRESS: 18 Treuer Parade, Yagoona NSW 2199 CLIENT: Ahmad AbdulWahed
PROJECT TYPE: Demolition of all existing improvements and construction of an
Attached Dual Occupancy

DATE: Issue Date REV: A SHEET NO: **COUNCIL AREA:**



Suite 4/259 Northumberland St, Liverpool NSW 2170, Australia Ph: 02 8319 9447 | info@mahn.com.au | www.mahn.com.au

SPECIFICATION NOTES:

1.0 SERVICES

Excavation

Do not excavate by machine within 1m of existing underground services

2.0 Planting Mix:

Natural ground soil mix shall consist of

3 parts by volume existing top soil

1 part by volume washed river sand

1 part by volume friable organic matter (mushroom compost or equivalent) as available from reputable garden suppliers.

Turf underlay shall be a mix of 40% double washed river sand 20% composted Greenwaste, 20% nitro humus, 20% soil equivalent to Greenlife Lawn Top Dressing & turf Underlay as produced by Australian Native Landscapes or approved equivalent. Spread 100mm of Turf Underlay as specified and finish flush with adjacent finished surface levels.

Provide (1kg) sample of imported topsoil mixes, if required for approval. No imported Topsoil shall be delivered to site prior to approval of sample provided.

3.0 TOPDRESSING

Topdress material shall be specified as AS4419-1999. Topdress material shall be clean washed river sand, free from any clay lumps, clods, weeds, tree roots, sticks, organic matter, rubbish and material toxic to plant growth and the like and shall have a neutral pH and minimal salt content (measured oven dry of 0.1%)

APPLICATION: Place mulch to the required depth (refer to detail drawing), clear of plant stems and rake to an even surface finishing 25mm below adjoining levels.

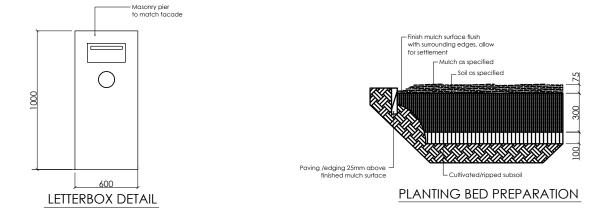
Mulch type: Mulch to garden bed Mulch shall mean Hort-Bark/Euclalyptus mulch/leaf mulch(15 mm grade), free from any noxious weed.

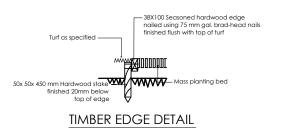
Spread mulch so that after settling it is:

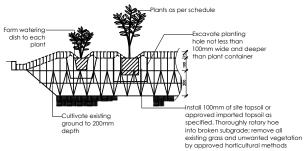
smooth and evenly graded between designed surface levels

- -flush with adjacent finished levels
- -of the required depths (75mm)
- -sloped towards the base of the plant stems in planting beds but not in contact with the stem (no closer than 50mm in case of gravel mulch)

Place after the preparation of planting bed, planting and all other work.







MASS PLANTING- NATURAL GROUND

4.0 PLANTING

Do not plant in unsuitable weather conditions such as extreme heat or cold, wind or rain. Before planting begins complete cultivation, soil placement, fertilization etc as previously specified. Before plants are installed, all pot plants shall have their roots pruned with an appropriate, clean, sharp instrument to eliminate any root competition occurring at edge of pot zone.

Before planting begins, water the plant thoroughly and also the planting area. Keep the area and the plants moist during planting. Water the plants immediately after planting and thereafter as required to maintain growth free of stress rates. The contractor shall give notice of not less than 24 hours, for inspection as nominated in inspect and hold point schedule.

5.0 PLANTS SUPPLY

The landscape contractor is responsible for organising the delivery of plant stock to the site and verifying that the plant stock possess the following characteristics prior to accepting delivery on site: Large healthy root system with no evidence of root curl, restriction or damage

Vigorous, well established, free from pest and disease, of good form consistent with species or variety Hardened off, not soft or forced and suitable for planting in the natural climatic conditions prevailing at the site. Trees must unless required to be multi-stemmed, have a single leading shoot.

Any plants or trees that are accepted by the landscape contractor that do not meet the specification, will be replaced bat the contractor's expense.

Replacement:

Replace damaged or failed plants of the same type and size.

6.0 STAKING AND TYING

Stakes are to be straight hardwood, free from kmnots and twists, pointed at one end sized according to size of plants to be staked.

- a. 5-15 litre size plant
- b. 35-75 litre size plant
- c. 10-greater than 200 litre 3x(1800x50x50mm) Ties shall be 50mm wide hessian webbing or approved equivalent nailed or stapled to stake. Drive stakes a minimum one-third of their length, avoiding damage to the root system, on the windward side of the plant.

7.0 FERTILIZER MASS PLANTING AREAS:

Fertilizer shall be 'Nutricote' or approved equivalent in granular form intended for slow release. Thoroughly mix fertilizer with planting mixture at the recommended rate, prior to installing plants.

Palmetto Buffalo: Ozbreed Lawn Starter Slow Release fertilizer or equivalent

DESCRIPTION

DATE



TREES:

Nutricote Standard Brown 360 Day blend (16:4, 4:8.3)

Distribute 5 kg/litre (rootball size) fertilizer into backfill around rootball. Apply in three evenly spread layers as hole is filled. First layer is to be halfway up the rootball, 2nd layer 3 This application ensures that the nutrients leach evenly downwards into the soil profile and encourage outward root system growth.

SOIL CONSERVATION NOTE:

Prior to commencement of construction, provide sediment fence, sediment trap and washout area to ensure the capture of waterborne material generated from the site. Maintain the above during the course of construction and clear the sediment trap after each storm.

ROOT PRUNING OF TREES

Remove tree from container and root prune 200mm on sides and bottom to ensure all circling roots have been either severed or aligned radially into the surrounding soil. Plant as per detail.

MAINTENANCE PROGRAMME:

Consolidation & landscape maintenance shall mean the care and maintenance of the contracted landscape works using acceptable horticultural practices, ensuring that all plants and planting areas are enabled optimum arowing conditions and are in excellent appearance at all times, as well as the rectification of defects that result from regular use. This shall include, but not limited to, watering, mowing, fertilizing, re-seeding, re-turfing, weeding, pest and disease control, staking and tying, re-planting, cultivation, pruning, aerating, topdressing, maintaining the site in a neat and tidy condition as follows:

1.0 GENERAL

The landscape maintenance period shall be for the term of maintenance (or plant establishment) period to the satisfaction of the council. The maintenance period shall commence at practical completion and continue for a period of 52 weeks or as required by council or requested by owner.

Grass, trees and garden areas shall be watered regularly so as to ensure a continuous healthy growth

3.0 RUBBISH REMOVAL

During the term of maintenance period rubbish that may occur and reoccur is to be removed. This work shall be carried out regularly so that at weekly interval, the area may be observed to be in a clean and tidy condition.

4.0 REPLACEMENTS

The landscape contractor shall replace all the plants that are missing, unhealthy or dead at the landscape contractor's cost.Replacement shall be of the same size, quality and species as the failed plant, unless otherwise directed by the landscape consultant. Replacements shall be made on a continuing basis not exceeding two weeks after the plant has died or is seen to be missing.

5.0 STAKES AND TIES

The landscape contractor shall replace or adjust plant stakes and tree guards as necessary or as directed by the landscape consultant. Remove stakes and ties at the end of the maintenance period if so directed.

6.0 PRUNING

Trees and shrubs shall be pruned as directed by landscape consultant. Pruning will be directed at the maintenance of the dense foliage or miscellaneous pruning and beneficial to the condition of the plants. Any damaged growth shall be pruned back. All pruned material to be removed from the site.

7.0 MULCHED SURFACE

All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times.

8.0 PEST AND DISEASE CONTROL

The landscape contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pest and disease immediately on detection to the landscape consultant.

10.0 WEED ERADICATION

Eradicate weeds by environmentally acceptable methods using a non-residual herbicide in any of its registered formulae, at the recommended maximum rate. Remove weed growth from an area 750mm diameter around the base of trees in grassed greas. Continue eradication throughout the course of the works and during the maintenance period.

9.0 GRASS AND TURF AREAS

The owner shall maintain all grass and turf areas by watering, weeding, re-seeding, rolling, mowing, trimming or other operations as necessary. Seed and turf species shall be the same as the original specified one. Grass and turf areas shall be sprayed with approved selective herbicide ag broad leaved weeds as required and in accordance with the manufacturer's directions. Grass and turfed areas shall be fertilised once a year in autumn with appropriate fertiliser and watered immediately after application. Turfed areas to be kept mown to maintain a heal;thy and vigorous state: mowing height 30-50mm

11.0 SOIL SUBSIDENCE

Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the landscape contractor at no cost to the designer 12.0 OTHER Maintaining all hard & semi permeable areas including toping/raking gravel& decomposed granite areas (as applicable), cleaning/weeding paving etc.

- 1. The landscape drawing is to be read in conjunction with the architectural/,hydraulic/ service plans and survey prepared for the proposed development.
- Do not scale off drawings. Refer to dimensions on plan.
- 3. All services to be checked and verified on site.
- 4. All existing trees to be retained and protected as specified unless shown otherwise.
- 5. Topsoil mixture, as specified, is to be thoroughly mixed prior to placement. Imported top soil to be compatible with existing top soil and in accordance with specification.
- Prior to landscape works, remove all builders' debris, cultivate garden bed and turf areas to required levels and incorporate compost as specified. The area within drip zone of existing trees to be retained are to be hand dug.
- 7. Ensure all garden beds and tree planting have adequate drainage to prevent water logging during periods of high rainfall. 8. Rain water to be used on site. All plants chosen are low water use in keeping with WSUD principles. 9.
- 10. Council's recommended plant list has been used as a resource for plant selection.
- 11. Council crossover and layback to meet council specification.
- 12. Turf on council verge to be made good after construction.
- 13. All street trees on council verge to be retained and protected during construction.
- 14. Where retaining walls align with boundary fence, the total height shall not exceed 1.8M above ground level.
- 15. Retaining walls and concrete driveways to engineer's details.